



# Town of Clifton Park

## Buildings & Grounds

One Town Hall Plaza • Clifton Park, New York 12065 • (518) 371-6651 Ext. 251 • Fax: (518) 371-1136

The Town of Clifton Park, Through the Buildings & Grounds Department seeks bids from qualified entities for renovations of the exterior of the Historic Grooms Tavern, at 290 Sugar Hill Rd., in the Town of Clifton Park, N.Y. 12065.

Scope of work is contained in the Attached project Manual and Drawings Prepared by Mark Kazmierczak.

The Town Seeks Separate Bid prices for the 2021 Grooms Tavern Renovations as outlined below and as shown on attached plans. The quote will show four prices for three renovation areas of the Tavern.

### 1. **RENOVATION AREA NO. 1**

Wrap-around wood porch floor removal and installation of Trex-Transcend, Island Mist Color, Composite Decking, or an Approved Equal. See sheets 2, 3 and 7 of the plans.

### 2. **RENOVATION AREA NO. 2**

Removal of existing wrap-around metal porch roof and installation of new standing seam metal roof matching the color of existing rear section of the structure. See sheets 2, 4 and 7 of the attached plans.

### 3. **RENOVATION AREA NO. 3** (Provide quote for both options)

#### **Option 3A of Renovation Area No. 3**

Removal of cedar shake roof shingles from main structure and installation of Aged Cedar color composite shingles available from Enviroshake. An approved Equal is also acceptable. This new roof is manufactured from recycled materials, will not rot, crack, split, or warp, withstands winds up to 180 mph., it does not require any maintenance, has authentic look of cedar and it has a lifetime warranty. See sheets 2, 5 and 6 of the attached plans.

#### **Option 3B of Renovation Area No. 3**

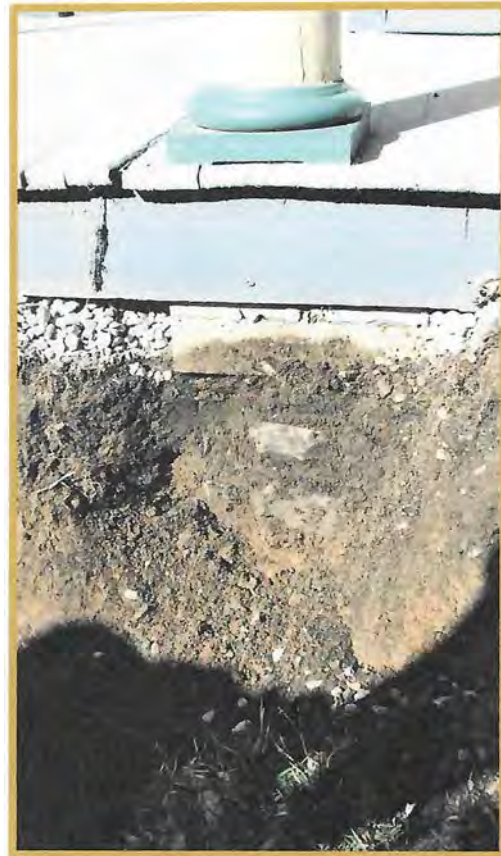
Removal of cedar shake roof shingles from main structure and installation of Architectural, 40-year, Asphalt roof shingles. Color to be approved by the Town Building Department. See sheets 2 and 5 of the attached plans.

Note that either Option 3A or 3B will be selected and awarded to the successful bidder.



## Grooms Tavern - Column Foundation/Pier Verification

April 7, 2021



Columns placed over wood decking over ground contact timbers, possibly 6x6 or 8x8. These timbers resting on masonry block over large boulder/stone laid piers to frost line. It is assumed that all eight columns have similar stone pier support and placed during original tavern construction in 1825. There is no evidence that the roof covering this porch is or has been sagging due to pier settlement.

All materials and work are to be inspected and approved by The Town of Clifton Park Building Department.

Contractor shall be responsible for proper disposal of all waste materials.

Sealed bids, labeled “Grooms Tavern Exterior Renovation Project, 2021” are Due on June 7, 2021, at 2:00 P.M. in the Office of the Town clerk, One Town Hall Plaza, Clifton Park, New York 12065.

Sealed Bids will be publicly opened in the Office of the Town Clerk on June 7, 2021, at 2:00 O’clock in the afternoon.

A Mandatory Pre-Bid walk through and inspection will be held at the Grooms Tavern Site on at 10:00 am on Thursday, May 27, 2021, followed by a pre-bid meeting in the Wood Memorial meeting room at Town Hall.

The Town requires proof of Commercial General Liability Insurance with One Million Dollars of Coverage, Automobile coverage in the same amount, and Umbrella coverage of an additional One Million Dollars. The Town of Clifton Park shall be named as an additional insured, as well as appropriate Workers Compensation Insurance.

Performance Bond in the Amount of \$100,000 also required. Prevailing wage rate as described by New York State must be paid. The Town of Clifton Park reserves the right to reject any, and all, bids.

This bid document is available at [www.cliftonpark.org](http://www.cliftonpark.org) under the government tab. Select request for bids & proposals from drop down menu.



# Town of Clifton Park

## Buildings & Grounds

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### **BID FORM**

Date: \_\_\_\_\_

Company Name: \_\_\_\_\_

Bid Name: \_\_\_\_\_

**Renovation Area #1:** \_\_\_\_\_

**Renovation Area #2** \_\_\_\_\_

**Renovation Area #3-Option 3A:** \_\_\_\_\_

**Renovation Area #3-Option 3B:** \_\_\_\_\_

Name/Title: \_\_\_\_\_

Signature: \_\_\_\_\_



# **April 2021**

## **Proposed Exterior Renovation Project**

# **GROOMS TAVERN**

**Ca. 1825**

290 Sugar Hill Road, Town of Clifton Park, New York



Photograph ca. 1910

# Table of Contents

- Description of proposed renovations and construction plans
- Appendix A – Product Specification Sheets
- Appendix B – Brief History of Historic Grooms Tavern



# Proposed Exterior Renovations of Grooms Tavern

consists of 3 renovation areas

- **Renovation Area No. 1**  
Wrap-around wood porch floor removal and replacement
- **Renovation Area No. 2**  
Removal and installation of new metal porch roof
- **Renovation Area No. 3**  
Removal of existing and installation of new composite or asphalt shingle roof for part of the main structure

Construction plans on following pages





# Proposed Exterior Renovation Project GROOMS TAVERN ca. 1825



290 Sugar Hill Road, Town of Clifton Park, Saratoga County, New York



FIND OUTLINE OF RENOVATION AREAS ON SHEET NO. 2

April 2021

<b>PREPARED BY:</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			<b>COVER SHEET</b>		
			Proposed Exterior Renovations <b>JAMES GROOMS TAVERN</b> 290 Sugar Hill Road, Town of Clifton Park, New York		
		DRAWING 21002	SCALE: NONE	DATE Apr. 2021	DRAWN BY: MSK
<b>SHEET</b>					
<b>1</b>					

<b>PREPARED BY:</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			DATE Apr. 2021	SCALE NONE	DRAWN BY: MSK
			290 Sugar Hill Road, Town of Clifton Park, New York		
<b>AREAS OF RENOVATION</b>			<b>JAMES GROOMS TAVERN</b>		
<b>Proposed Exterior Renovations</b>					
			<b>SHEET</b>		
			<b>2</b>		

**RENOVATION AREA NO. 2**  
EXISTING STANDING SEAM METAL ROOF TO BE REMOVED. NEW STANDING SEAM ROOF TO BE INSTALLED WITH COLOR TO MATCH EXISTING METAL ROOF SHOWN ON THE LEFT SIDE OF ONE-STORY PORTION OF THE BUILDING. SEE SHEET NO. 4

**RENOVATION AREA NO. 3**  
EXISTING CEDAR SHAKE ROOF SHINGLES TO BE REMOVED FROM THE MAIN TWO-STORY STRUCTURE AND ONE-STORY WING SHOWN BELOW. NEW COMPOSITE AGED CEDAR ENVIROSHAKE, (OR AN APPROVED EQUAL), TO BE INSTALLED FOLLOWING THE MANUFACTURERS GUIDELINES, SPECIFICATIONS AND INSTALLATION GUIDE. FIND ROOF PLAN AND INFORMATION ON SHEET NO. 5



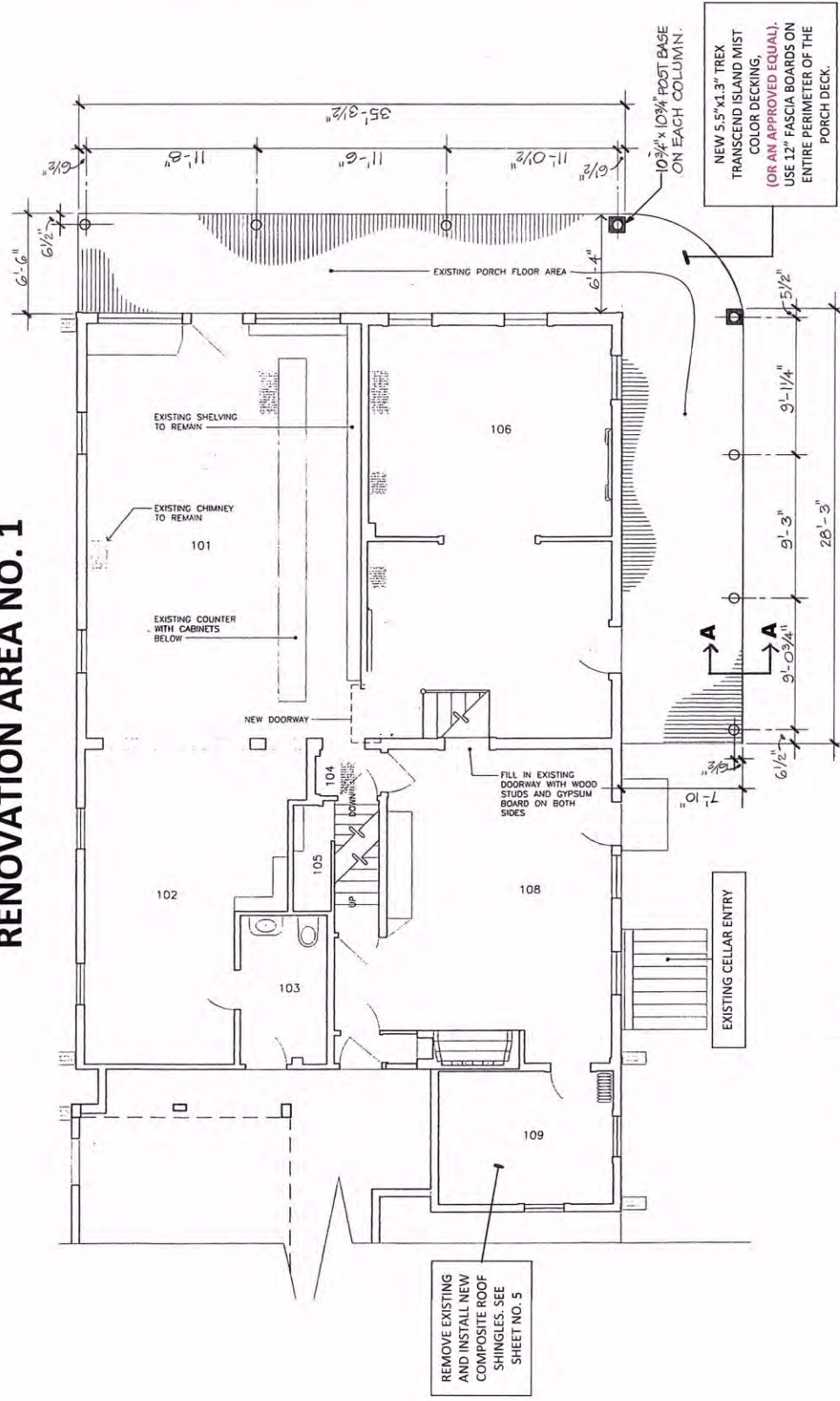
EXISTING METAL ROOF. COLOR TO BE FOLLOWED FOR RENOVATION AREA NO. 2

AREA NO. 1  
EXISTING PORCH DECK REMOVAL AND NEW DECK INSTALLATION

NO WORK IN THIS AREA



**RENOVATION AREA NO. 1**  
THE 8" DIAMETER COLUMNS ARE CURRENTLY PLACED OVER THE TOP OF THE WOOD DECKING ON THE WRAP-AROUND PORCH ABOVE. IN ORDER TO REMOVE EXISTING AGED AND ROTTED WOOD DECKING AND INSTALL NEW TREX TRANSCEND COMPOSITE DECKING, (OR AN APPROVED EQUAL). IN ORDER TO WORK ON THE DECKING, COLUMNS MUST BE REMOVED. PRIOR TO COLUMN REMOVAL, EXISTING PORCH ROOF MUST BE BRACED/SHORED UP, MINIMUM 8 PLACES, NEAR EXISTING COLUMN LOCATIONS. SEE SHEET NO. 3. AFTER NEW DECKING IS INSTALLED, COLUMNS CAN BE RE-INSTALLED.

# RENOVATION AREA NO. 1

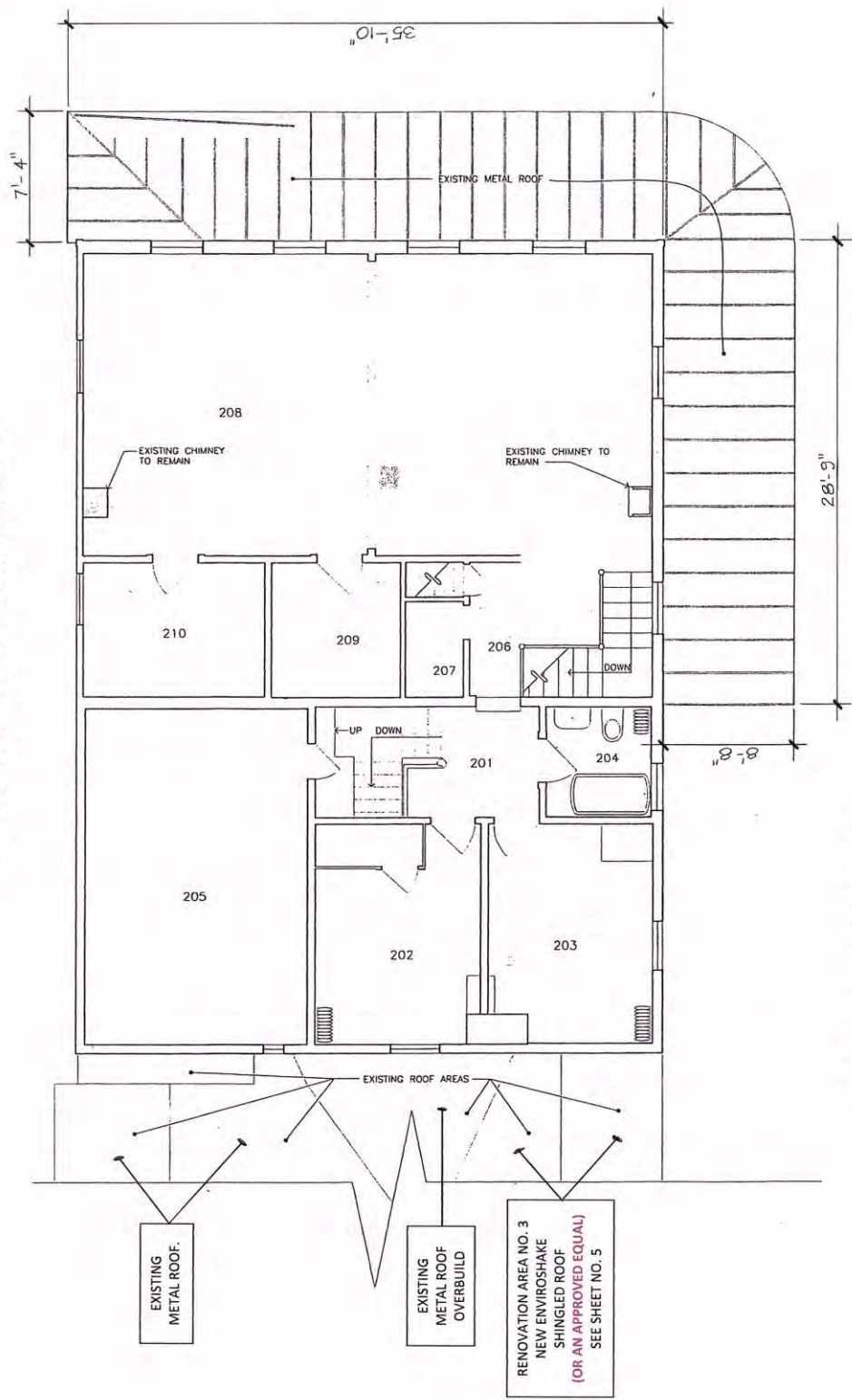


NEW 5.5" x 1.3" TREX  
TRANSCEND ISLAND MIST  
COLOR DECKING,  
(OR AN APPROVED EQUAL).  
USE 12" FASCIA BOARDS ON  
ENTIRE PERIMETER OF THE  
PORCH DECK.

- FIRST FLOOR** **NOT TO SCALE**
- ENTIRE PORCH WOOD DECK TO BE REMOVED DUE TO DETERIORATION AND ROTTING. ALL EXISTING GROUND CONTACT HEADERS UNDER THE DECK TO BE INSPECTED FOR STRUCTURAL STABILITY AND REPLACED IF REQUIRED.
  - THE 8" DIAMETER COLUMNS SHOWN ABOVE, ARE CURRENTLY PLACED OVER THE TOP OF WOOD DECKING. IN ORDER TO REMOVE EXISTING DETERIORATED WOOD DECK AND INSTALL NEW COMPOSITE DECKING, THESE COLUMNS MUST BE REMOVED AND RE-INSTALLED AFTER NEW DECK IS INSTALLED. PRIOR TO REMOVAL OF THE COLUMNS, ENTIRE ROOF MUST BE SHORED UP.
  - FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR TREX TRANSCEND, (OR AN APPROVED EQUAL), DECKING
  - PRIOR TO RE-INSTALLATION OF THE COLUMNS, ALL COLUMN FOOTINGS MUST BE VERIFIED FOR EXISTING DEPTH AND TYPE OF FOOTING MATERIAL AND MUST BE RECONSTRUCTED IF REQUIRED. **SEE SECTION A-A ON SHEET NO. 7**

<b>PREPARED BY:</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			<b>PORCH DECK REPLACEMENT</b>		
			Proposed Exterior Renovations <b>JAMES GROOMS TAVERN</b> 290 Sugar Hill Road, Town of Clifton Park, New York		
		DRAWING 21002	SCALE: NONE	DATE Mar. 2021	DRAWN BY: MSK
SHEET					
3					

# RENOVATION AREA NO. 2



EXISTING METAL ROOF.

EXISTING METAL ROOF OVERBUILD

RENOVATION AREA NO. 3  
NEW ENVIROSHAKE SHINGLED ROOF  
(OR AN APPROVED EQUAL)  
SEE SHEET NO. 5

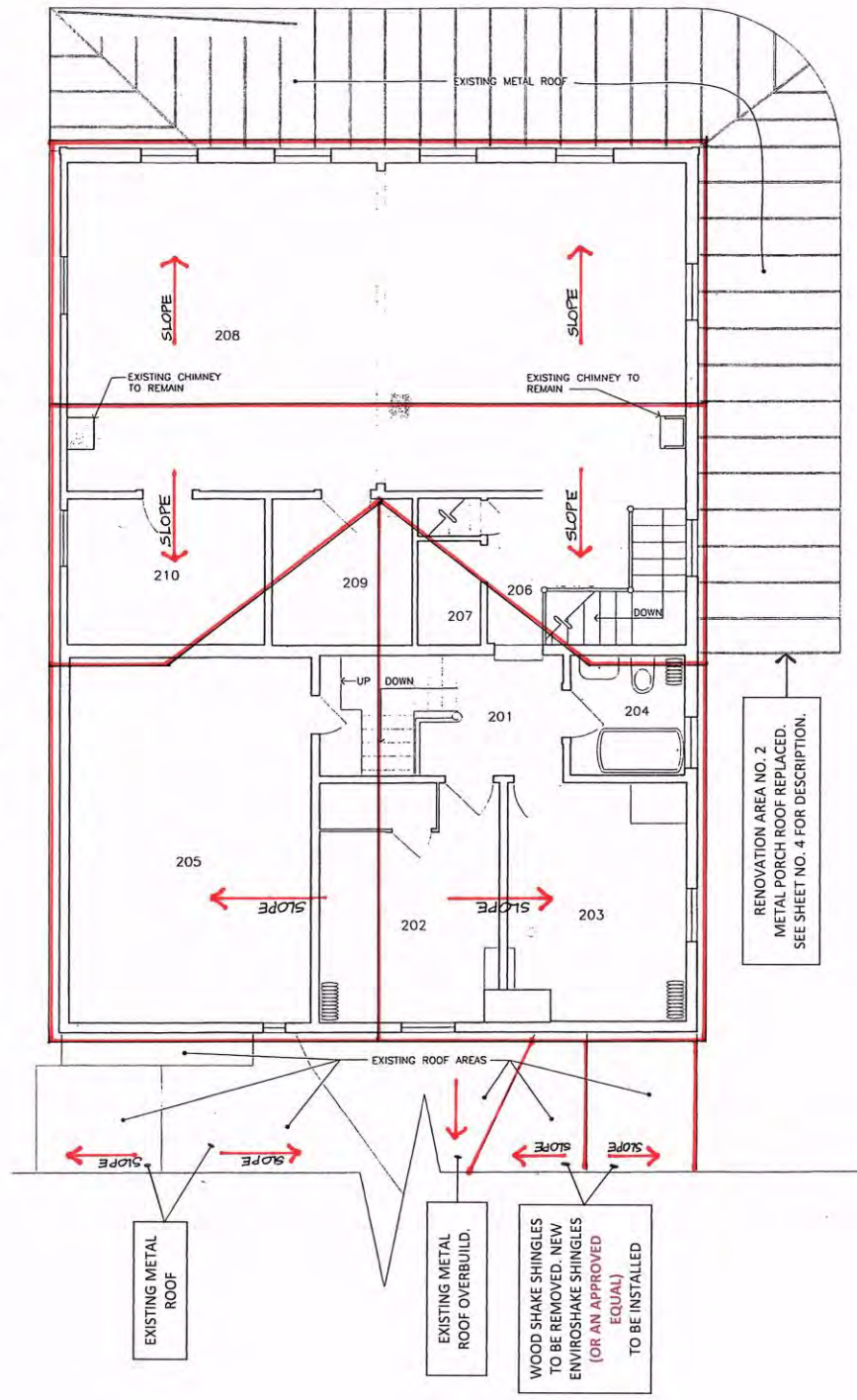
## METAL ROOF PLAN

NOT TO SCALE

- EXISTING PORCH METAL ROOF TO BE REMOVED. EXPOSED SHEATHING TO BE INSPECTED AND VERIFIED FOR ACCEPTABLE CONDITION.
- NEW STANDING SEAM METAL ROOF TO BE INSTALLED FOLLOWING ALL MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- METAL FLASHING TO BE INSTALLED AT NEW METAL ROOF AND THE MAIN BUILDING JUNCTURE. NEW DRIP EDGE TO BE INSTALLED.
- NEW METAL ROOF COLOR TO MATCH EXISTING METAL ROOF LOCATED ON ONE STORY SECTION OF THE BUILDING ON THE LEFT. SEE SHEET NO.2 FOR VIEW OF EXISTING METAL ROOF AND PORTION OF PORCH ROOF TO BE REPLACED.
- VERIFY WITH THE TOWN IF SNOW GUARDS ARE RECOMMENDED AT TWO LOCATION AREAS OF THE BUILDING. SNOW GUARDS ARE SHOWN ON EXISTING METAL ROOF OVER A REAR PORTION OF THE TAVERN AND CAN BE VIEWED ON SHEET NO. 2.

<b>PREPARED BY:</b>	TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			<b>Proposed Exterior Renovations</b> <b>JAMES GROOMS TAVERN</b> 290 Sugar Hill Road, Town of Clifton Park, New York		
	DRAWN BY: MSK			DATE: Mar. 2021	SCALE: NONE	DRAWING: 21002
<b>SHEET</b>			<b>4</b>			
<b>METAL ROOF REPLACEMENT - PORCH</b>						



# RENOVATION AREA NO. 3





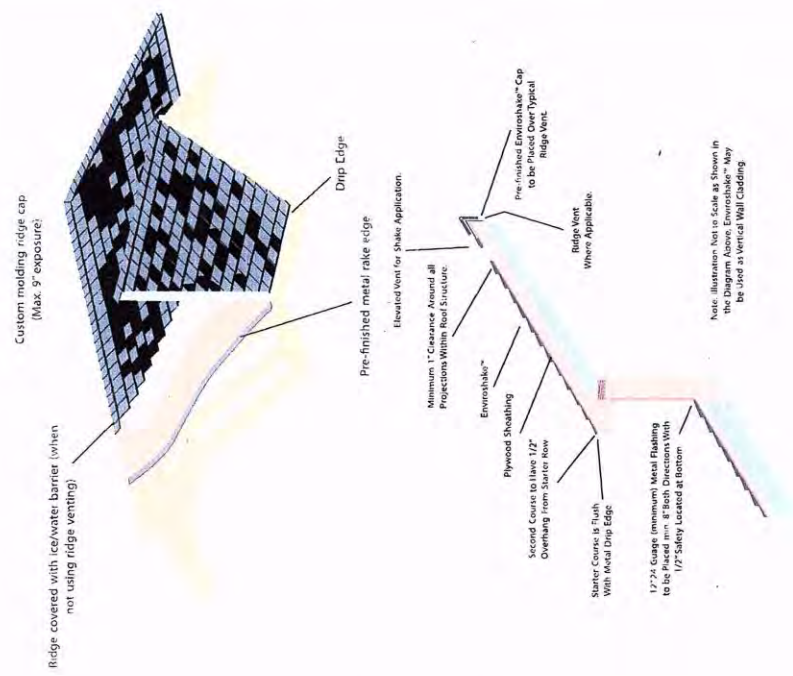
## MAIN BUILDING ROOF PLAN

NOT TO SCALE

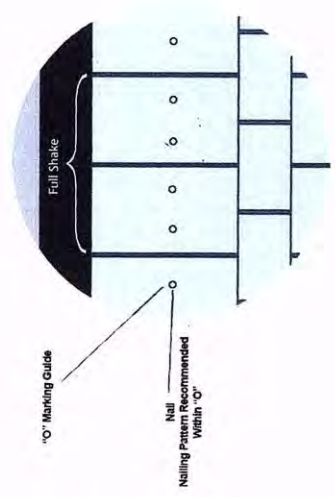
- REMOVE EXISTING ROOF WOOD SHAKE SHINGLES. EXPOSED SHEATHING TO BE INSPECTED AND VERIFIED FOR ACCAPTABLE CONDITION. VERIFY IF WATER AND ICE SHIELD IS PRESENT AT PERIMETERS OF ROOFS AS REQUIRED BY RESIDENTIAL BUILDING CODE.
- INSTALL NEW AGED CEDAR COLOR ENVIROSHAKE ROOF SHINGLES, (OR AN APPROVED EQUAL), AS PER MANUFACTURERS RECOMMENDATIONS AND INSTALLATION GUIDE SUPPLIED WITH THIS SET OF PLANS.
- REPLACE AND INSTALL PROPER FLASHING AROUND EXISTING TWO BRICK CHIMNEYS VISIBLE ON SHEET NO. 1 AND NO. 2.
- CONSTRUCT VALLEYS AND UNDERLAYMENT AS PER MANUFACTURERS SPECIFICATIONS. SEE SHEET NO. 6 FOR DETAILS FOR NEW COMPOSITE ROOF SHINGLE INSTALLATION.

<b>PREPARED BY:</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT 		DRAWING 21002	SCALE: NONE	DATE Mar. 2021	DRAWN BY: MSK
		Proposed Exterior Renovations <b>JAMES GROOMS TAVERN</b> 290 Sugar Hill Road, Town of Clifton Park, New York			
<b>MAIN ROOF SHINGLE REPLACEMENT</b>		<b>SHEET</b> <span style="font-size: 2em; font-weight: bold;">5</span>			

<b>PREPARED BY:</b>	TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			<b>SHINGLE INSTALLATION DETAILS</b>	<b>SHEET</b>  <b>6</b>
<b>Proposed Exterior Renovations</b> <b>JAMES GROOMS TAVERN</b> 290 Sugar Hill Road, Town of Clifton Park, New York			DRAWN BY: MSK DATE: Mar. 2021 SCALE: NONE DRAWING: 21002		



Note: Illustration Not to Scale as Shown in the Diagram Above. Enviroshake™ May be Used as Vertical Wall Cladding.



\*Illustrated as 6x6 Split Enviroshake\*  
\*Use 4 Nails Per Shake\*

1 1/2" Between Keyways Overlap  
\*Avoid Keyway on Keyway\*

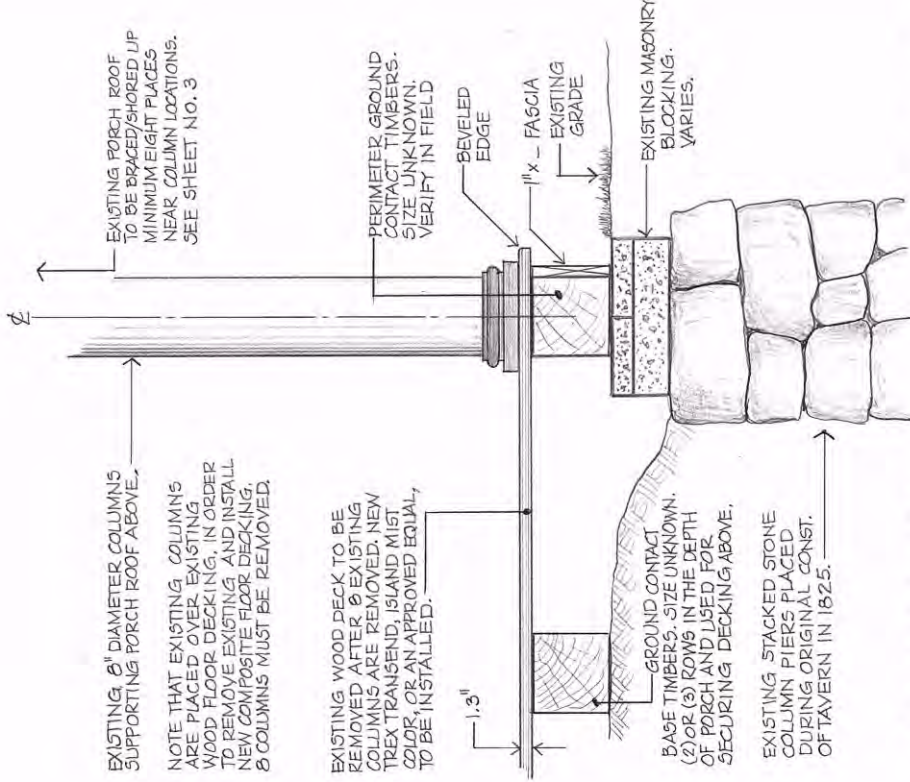
### MISCELLANEOUS ROOF SHINGLE DETAILS

NOT TO SCALE

- ROOF COMPOSITE SHINGLES MANUFACTURED BY ENVIROSHAKE, P.O. BOX 1462 CHATHAM, ONTARIO CANADA, N7M 5W8 (1-866-423-3302) OR AN APPROVED EQUAL.
- FOLLOW ALL MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND INSTALLATION PROCEDURES ATTACHED SEPARATELY TO THESE PLANS. READ THE INSTALLATION GUIDE MANUAL PROVIDED WITH BUNDLES OF COMPOSITE SHAKE SHINGLES.
- NOTE THAT THE ROOFING SYSTEM REQUIRES ENVIROSHAKE RIDGE CAP AND BE SURE TO COVER ENTIRE ROOF WITH A PEEL AND STICK SYNTHETIC UNDERLAYMENT (ENVIROSHIELD) WHICH IS SUPPLIED WITH ENVIROSHAKE SHINGLES. ENVIROSHIELD IS REQUIRED FOR A FULL GOLD WARRANTY.
- NOTE THAT THE VALLEYS ARE NOT COVERED WITH SHINGLES. 24" WIDE, HEAVY GAUGE, GALVANIZED OR PAINTED ALUMINUM IS USED IN ALL VALLEYS. SEE ABOVE.

## GENERAL NOTES:



- CONTRACTOR SHALL APPLY FOR AND PROPERLY POST REQUIRED BUILDING PERMIT AS WELL AS ARRANGE FOR ALL REQUIRED POST INSPECTIONS BY THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE/LOCAL BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONTRACTOR SHALL PERFORM ALL MISCELLANEOUS REMOVALS, MODIFICATIONS, CHANGES, CONSTRUCTION AND CLEANUP REQUIRED TO COMPLETE THE GENERAL SCOPE OF THIS PROJECT.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS AND COMPONENTS NECESSARY FOR COMPLETION OF ALL THREE RENOVATION AREAS SHOWN ON SHEET NO. 2 OF THE PLANS AND PROVIDE A COMPLETED STRUCTURALLY SOUND AND WEATHER TIGHT ROOFS AND PORCH DECK.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS WORK.
- CONTRACTOR SHALL INDEMNIFY THE TOWN OF CLIFTON PARK AND THEIR AGENTS THROUGH AN ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, ROUGH-OPENING SIZES, ROOF PITCHES, ETC., AT THE SITE PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT OF ANY DISCREPANCIES AND/OR DEVIATION FROM THESE DRAWINGS FOR REVIEW AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS WHICH ARE NOT REPORTED TO THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT.
- ALL WOOD FRAMING WITHIN 6" OF FINISHED GRADE OR ON GRADE, SHALL BE PRESSURE TREATED LUMBER, GROUND CONTACT TYPE.
- PRIOR TO REMOVAL OF EIGHT EXISTING COLUMNS, ENTIRE PORCH ROOF ABOVE MUST BE BRACED/SHORED UP MINIMUM EIGHT PLACES. (SEE SHEET NO. 3 FOR LOCATIONS) TEMPORARY ROOF BRACES TO BE MINIMUM 2X10 #SPF2 GRADE LUMBER AND MUST BE PROTECTED FROM ACCIDENTAL MOVEMENT.
- METAL CONNECTORS SHALL NOT BE LESS THAN 0.036" THICK, COATED THICKNESS. GALVANIZED SHEET STEEL: ASTM A 446, GRADE A COATING G60.
- ALL EXISTING BASE TIMBERS, (SIZE UNKNOWN), TO INCLUDE PERIMETER TIMBERS OF THE DECK, WHICH ARE USED FOR SECURING NEW PORCH FLOOR, MUST BE VERIFIED FOR CONDITION AND STRUCTURAL INTEGRITY. ANY BASE GROUND CONTACT TIMBERS DEEMED TO BE IN AN UNACCEPTABLE CONDITION BY THE TOWN BUILDING DEPARTMENT, SHALL BE REPLACED IN KIND. SEE PORCH DECK SECTION A-A ON THE RIGHT.
- ANY STRUCTURAL MEMBER SUBJECT TO CUTTING, DRILLING OR NOTCHING SHALL BE REINFORCED, REPAIRED AND/OR REPLACED, AND LEFT IN SAFE, STRUCTURALLY SOUND CONDITION IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE RESIDENTIAL CODE. LATEST ADDITION.
- ALL EXISTING COLUMNS, WHICH ARE BEING INSTALLED BACK OVER THE NEW DECKING, SHALL BE PLACED TO ITS ORIGINAL HEIGHT AND LOCATION.
- ALL AREAS OF RENOVATION WORK MUST BE CLEANED OF ALL DEBRIS EACH NIGHT AND SECURED WITH TEMPORARY FENCING AND "DANGER - DO NOT ENTER" SIGNAGE FACING THE PUBLIC.
- UNAUTHORIZED ALTERATIONS OF THESE DRAWINGS AND DOCUMENTS IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.



**PORCH DECK SECTION A-A**

RENOVATION AREA NO. 1

SCALE: 1" = 1'-0"

<b>PREPARED BY</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			<b>NOTES &amp; DETAILS</b>		
			<b>JAMES GROOMS TAVERN</b> Proposed Exterior Renovations 290 Sugar Hill Road, Town of Clifton Park, New York		
		DRAWN BY: MSK	DATE: APR. 2021	SCALE: NONE	DRAWING: 21002
			<b>7</b>		
			<b>SHEET</b>		

# Appendix – A

## Product Specification sheets

- Trex Decking and Fascia
- Enviroshake Composite Roofing
- Enviroshake Installation Guide

For complete  
printable  
Installation  
Guide  
Visit [trx.com](http://trx.com)



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1220 XALTBRO2021

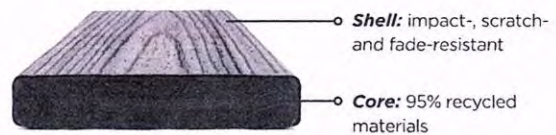






## PREMIUM HIGH-PERFORMANCE DECKING & FASCIA

Trex Transcend® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Transcend Decking and Fascia are ICC-ES SAVE-certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



### DECKING



### FASCIA



FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	2" x 6"	8"	12"
Actual Dimensions - Standard	.94" x 5.5"	1.3" x 5.5"	.56" x 7.25"	.56" x 11.375"
Actual Dimensions - Metric	24 mm x 140 mm	33 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12', 16', 20'	12'	12'
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm, 487 cm, 609 cm	365 cm	365 cm
Grooved Edge	X			
Square Edge	X	X	X	X
Transcend Tropicals	X	X	X	X
Transcend Earth Tones	X		X	X
Weight per Lineal Foot	2.4 lbs	3.6 lbs	2.0 lbs	3.3 lbs

**PHYSICAL & MECHANICAL PROPERTIES**

TEST	TEST METHOD	VALUE	
Flame Spread	ASTM E 84	70	
Thermal Expansion	ASTM D 1037	1.9 x 10 <sup>-5</sup> in/in/degreeF	
Moisture Absorption	ASTM D 1037	< 1%	
Screw Withdrawal	ASTM D1761	558 lbs/in	
Fungus Resistance	ASTM D1413	Rating – no decay	
Termite Resistance	AWPAE1-72	Rating = 9.6	
		ULTIMATE (TYPICAL) VALUES*	DESIGN VALUES
Compression Parallel	ASTM D198	1588 psi	540 psi
Compression Perpendicular	ASTM D143	1437 psi	540 psi
Bending Strength	ASTM D198	3280 psi	500 psi
Shear Strength	ASTM D143	1761 psi	360 psi
Modulus of Elasticity	ASTM D4761	412,000 psi	200,000 psi
Modulus of Rupture	ASTM D4716	3280 psi	500 psi

\*Ultimate strength values are not meant for design analysis. Design values are for temperatures up to 125°F (52°C).

**COLORS**

**Tropicals (multi-tonal)**



**Earth Tones (monochromatic)**



**FASTENERS**



**Trex Hideaway® Hidden Fastening System**

Self-gapping, glass-filled nylon fastener with your choice of preset screws:



304 grade stainless steel, sharp point screw for wood framing



410 grade stainless steel, drill point screw for steel framing or 304 grade stainless steel drill point screw for aluminum framing

**Other Approved Fasteners**



Color-matched composite deck screw or matching composite plug

Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at [trex.com/literature](http://trex.com/literature)



Engineering What's Next  
in Outdoor Living™

#### IMPORTANT ADDITIONAL INFORMATION:

- **DO NOT USE ANY HIDDEN FASTENERS THAT ARE PLUG BASED WITH TREX ENHANCE PROFILES WITH SCALLOPED BOTTOM.**
- **Trex recommends the use of two screws per joist.**
- All recommended screws are designed to be installed flush with decking surface. DO NOT countersink screws.
- Use recommended stainless steel screws in any areas near bodies of saltwater.
- 2-3/4" or 3" screws can be used with Trex 2x6 product.
- Muro T-Screw M-TX0300SEP listed above is approved for 2x6 decking (can also be used with standard 1" (decking as listed above). This screw is collated and can be used with Muro Auto Feed Screw Gun FDVL41 Speed Driver. (NOTE: THIS IS NOT A COLOR-MATCH SCREW.)
- All decking products are approved for use with Trex Hideaway Hidden Fasteners; thus all decking products can be routed according to our instructions.
- Simpson Strong-Tie Deck Drive DCU Composite Screw in collated versions works with Quik Drive gun.
- Fascia system screws listed above **can only be used with composite fascia profiles** and cannot be used with standard thickness decking boards used as fascia. Use stainless steel fascia screws near water applications.
- \*\* Not for use with sleeper systems. Refer to FastenMaster® literature for more information.
- Contact 1-800-BUY-TREX for Escapes fastener recommendations.

If any condition occurs which is attributable to the use of non-recommended fasteners, such condition shall not be covered under the Trex Limited Warranty.

FastenMaster® TrapEase® and Cortex® are registered trademarks of OMG, Inc.  
Quik Drive® is a registered trademark and Composi-Lok™ is a trademark of Simpson Strong-Tie Company, Inc.  
DeckFast® Cap-Tor® xd and HeadCote® Cap-Tor® xd are registered trademarks of Starborn Industries Inc.  
C-Deck Exterior Star Deck Composite Deck Screw is a product of Screw Products Inc.  
Phillips II Plus® is a registered trademark of Phillips Fasteners LLC.  
SplitStop™ is a trademark of Titan Metal Werks, Inc.



Engineering What's Next  
in Outdoor Living®

1-5-21

Below is an updated listing of recommended fasteners for Trex Decking and Composite Fascia products.

DECKING - HIDDEN FASTENERS	Transcend®	Enhance®	Select®
Trex Hideaway® Universal Hidden Fastener	X	X	X
TigerClaw® TC-G Hidden Fastener	X	X	X
Cortex® Concealed Fasteners**	X		X
Starborn® Pro Plug® System for PVC & Composite (Epoxy Coated & Stainless) (2" are approved for sleeper & roof top applications only)	X		X
Simpson Strong Tie Deck Drive™ DCU Composite Screw & DCU Plugs (Handdrive only & must also use Auto-Set Drive Bit)	X		X
DECKING – COMPOSITE SCREWS	Transcend®	Enhance®	Select®
FastenMaster® TrapEase 3 Ultimate Composite Deck Screw	X	X	X
Simpson Strong Tie Deck Drive™ DCU Composite Screw (Collated & Handdrive)	X	X	X
Quik Drive® Composi-Lok Deck Screw	X	X	X
SplitStop™ Titan III Composite Screw	X	X	X
Starborn® Cap-Tor® xd Epoxy Coated & Headcote® Stainless (available collated for Muro CH7390 Driver) (2" are approved for sleeper & roof top applications only)	X	X	X
Screw Products C-Deck Exterior Star Drive Composite Deck Screw	X	X	X
Phillips II Plus® Pozisquare	X	X	X
Muro® T-Screw Torx Stainless Steel Screw - Collated (TX0212SFD or M-TX0300SEP)	X	X	X
Kameleon™ GRKFasteners™			X
FASCIA	Transcend®	Enhance®	Select®
Cortex® Hidden Fastening System for Fascia	X	X	X
Starborn® Pro Plug® System for Fascia – Epoxy & Stainless	X	X	X
Starborn® Deckfast® Fascia System – Epoxy Coated* and Headcote® Stainless	X	X	X
SplitStop™ Fascia Screws	X	X	X
Simpson Strong-Tie® Fascia Board Screw	X	X	X
FastenMaster® TrapEase® Fascia Fastener	X	X	X

# Enviroshake®

Quality Engineered Roofing

PO Box 1462 Chatham, Ontario Canada N7M 5W8

Ph. 1-519-380-9265 • Toll Free 1-866-423-3302

[www.Enviroshake.com](http://www.Enviroshake.com)

Contact: Brad Sawyer  
[Brad.sawyer@enviroshake.com](mailto:Brad.sawyer@enviroshake.com)



Enviroslate Stone Grey



### **Why Enviroshake?**

Enviroshake composite roofing products are designed to replicate the natural appearance of cedar and slate with the longevity and durability natural products simply can't duplicate. While backed by a lifetime warranty, Enviroshake has been tested for all markets to meet the highest ratings in the roofing industry. Rest assured for many years to come with minimal maintenance and a roof that will protect and enhance the curb appeal of your home. When choosing your next roof, Enviroshake is the perfect choice.

# Enviroshake®

Quality Engineered Roofing

Unsurpassed Durability with a Lifetime Performance.



#### Wind Protection

- Meets and exceeds Miami Dade requirements
- Can withstand winds in excess of 180 mph (290 km/h)



#### Eco-Friendly

- Products made from 95% repurposed materials
- Water runoff is potable
- 100% recyclable



#### Maintenance Free

- Will not rot, crack, split, or warp
- Mold-, mildew-, and insect-resistant



#### Lifetime Warranty

- Fully transferable
- Lifetime Protection



#### Hail Protection

- Highest Hail Impact Rating
- Class IV Impact Resistance



#### Cost Savings

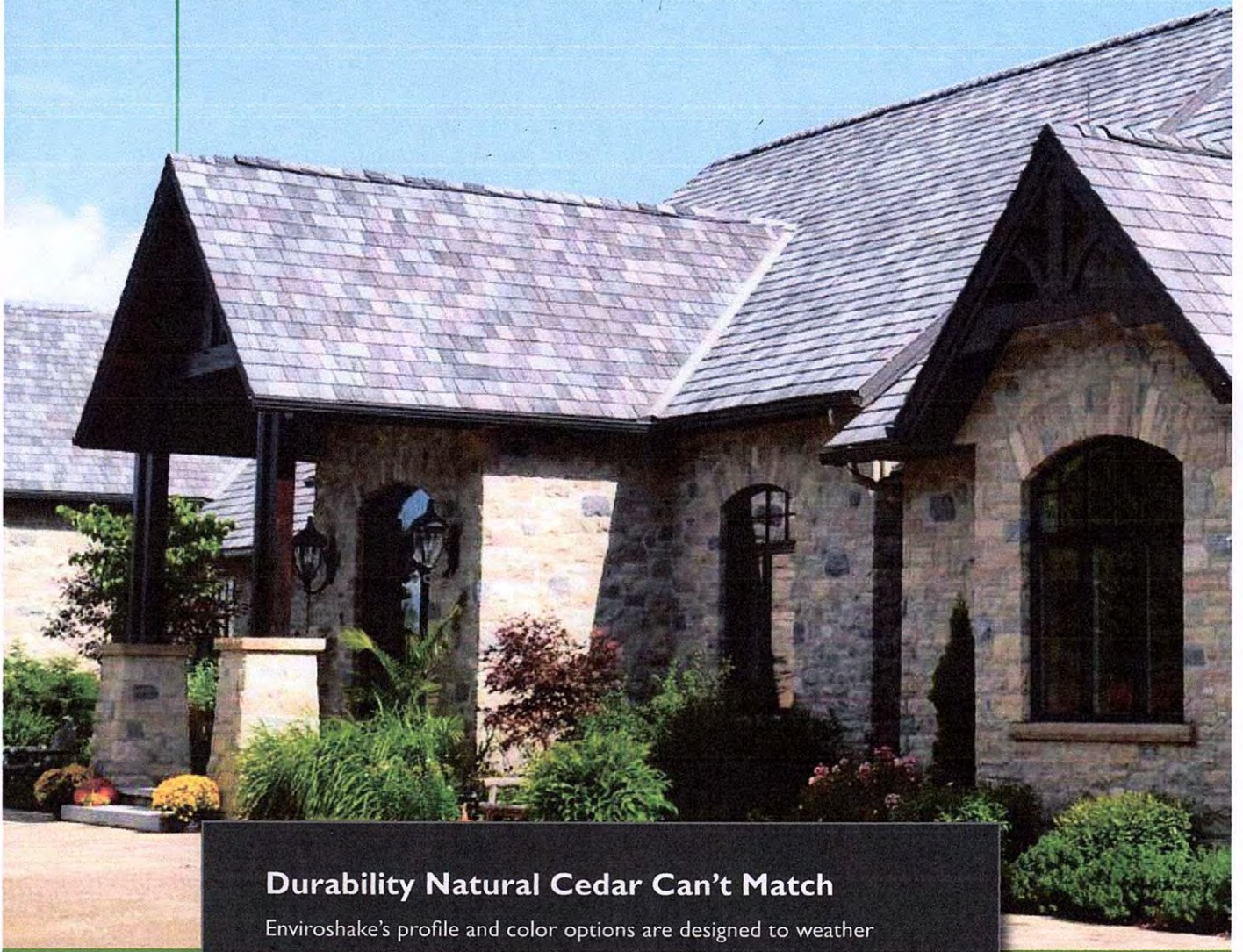
- Substantial lifetime savings compared to natural cedar
- Avoid costly repairs



#### Aesthetics

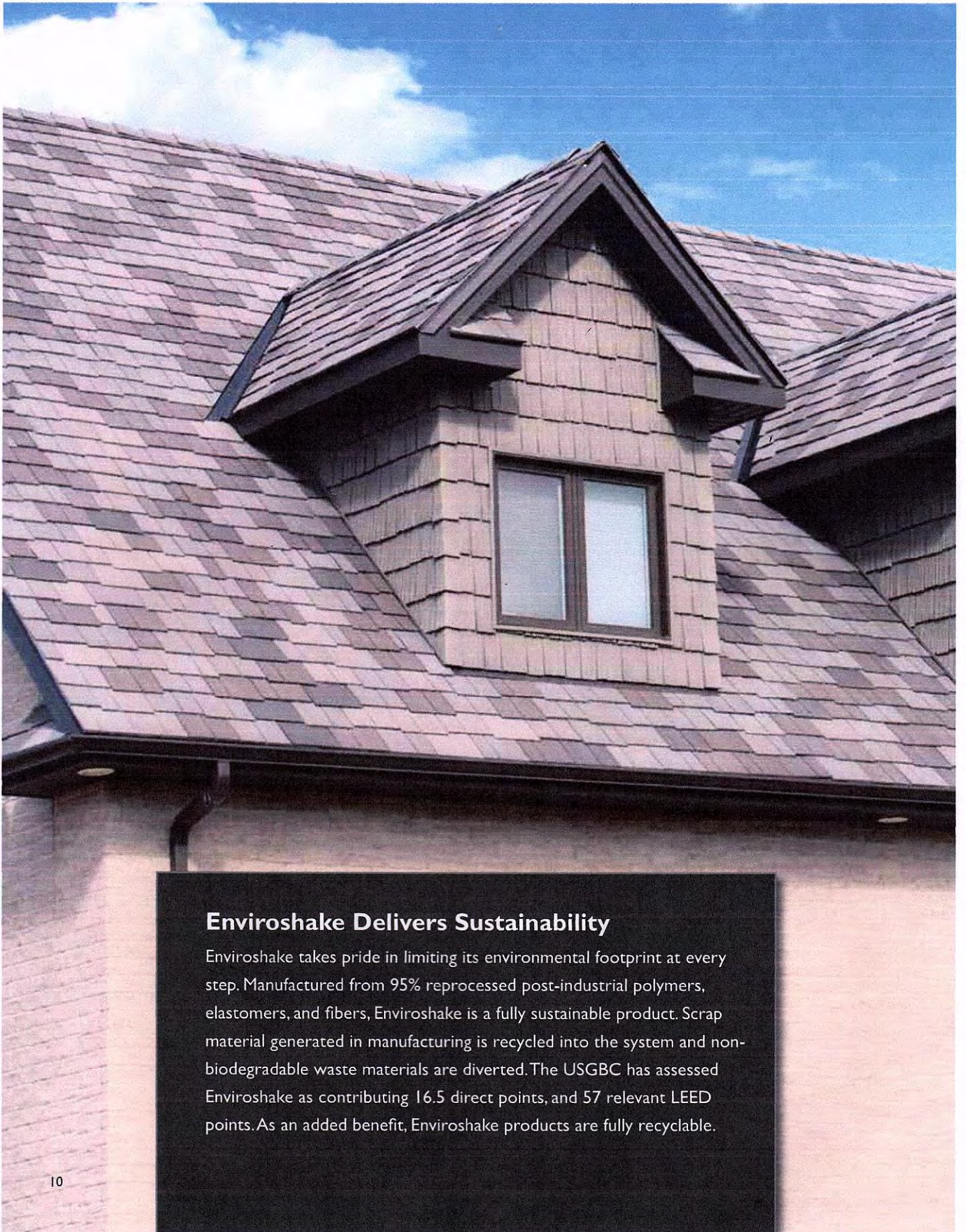
- Unmatched authentic look of cedar and slate
- Enhance overall home appearance

# ENVIROSHAKE®



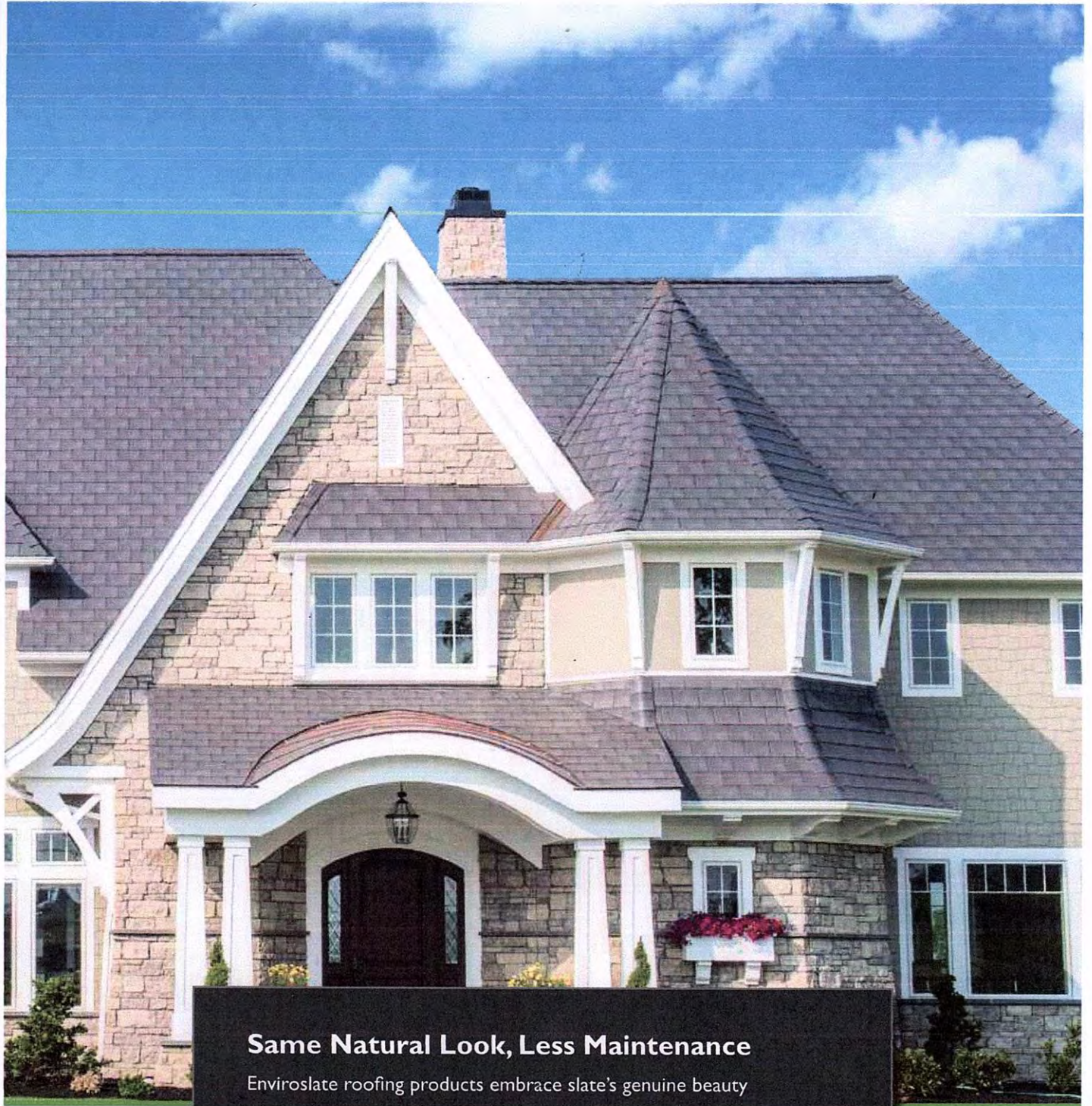
## **Durability Natural Cedar Can't Match**

Enviroshake's profile and color options are designed to weather and replicate the timeless appearance of a natural cedar roof. While environmentally friendly, Enviroshake is also walkable, resistant to fire, hail and wind, and has been crafted to be one of the most durable alternatives to cedar shake in the market.



### **Enviroshake Delivers Sustainability**

Enviroshake takes pride in limiting its environmental footprint at every step. Manufactured from 95% reprocessed post-industrial polymers, elastomers, and fibers, Enviroshake is a fully sustainable product. Scrap material generated in manufacturing is recycled into the system and non-biodegradable waste materials are diverted. The USGBC has assessed Enviroshake as contributing 16.5 direct points, and 57 relevant LEED points. As an added benefit, Enviroshake products are fully recyclable.



### **Same Natural Look, Less Maintenance**

Enviroslate roofing products embrace slate's genuine beauty without the cost, weight, and upkeep. Unlike competing products, Enviroslate is designed to mimic the natural aging process of slate. You can enjoy your Enviroslate roofing system worry-free with added protection against mold, mildew, and insects.

## Color Palette

### ENVIROSHAKE



Silvered Cedar



Aged Cedar



Multi-Tone\* (Combination of Silvered Cedar & Aged Cedar)

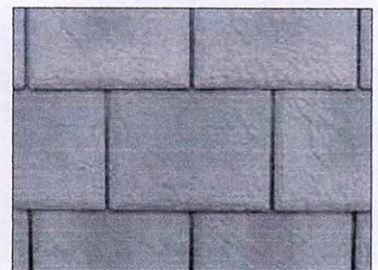
### ENVIROSLATE



Onyx Black



Charcoal Grey



Stone Grey



Sage Green



Plum Purple

### ENVIROSLATE MULTI-TONE COLORS\*



Grey/Charcoal



Green/Grey/Purple

\*This picture is a representation of a multi-tone color option, all color combinations are custom. Additional custom colors are available upon request.

# Enviroshake®

## Quality Engineered Roofing

Installing

[home](#)

### Enviroshake® APPLICATION INSTALLATION GUIDELINE

This Guideline and Installation Diagram have been designed for printability for your convenience. To ensure this we have maintained the image quality. With some internet connections this may take up to 15-20 seconds to download. Thank you for your patience.

[View the Installation Video](#)

**Warning:** Do not proceed with installation of the Enviroshake® roof until you have thoroughly read these instructions and reviewed the installation diagrams. If you have any questions or concerns related to the installation procedures outlined below, please call our toll-free number (1.866.423.3302) for assistance **BEFORE** starting your project. An installation video is available for viewing online at [www.enviroshake.com](http://www.enviroshake.com) or by calling the toll-free number. Enviroshake is not responsible for any costs incurred by the customer associated with improper installation procedures.

**Storage:** Enviroshake® needs to be stored in a covered dry location and can be stored in the original factory shrink-wrap outdoors for up to 6 months. If the product is stored in a location where the product becomes submerged in water from rain run off, the product can become stained and the warranty is voided. If the product is stored outside for longer than 6 months the UV protected shrink-wrap will start to break down and the product will start to weather prematurely.

Enviroshake® bundles are packaged 13 pieces per bundle – 10 bundles = 100 square feet when installed at a 9" maximum exposure. Enviroshake® is packaged with 70 bundles per skid. As a rule, Enviroshake recommends adding 10% to "take-offs" for simple roof structures, and more for complicated roofs.

- ☐ Enviroshake® is designed to replicate the look of natural weathered cedar. No two shakes are exactly alike and will vary in thickness (+/- 20 %) and shading due to the unique materials and manufacturing process employed by Enviroshake.
- ☐ Do NOT stack material or another skid on top of ridge caps.
- ☐ SC shakes are bundled with white wrapping/strapping, and AC shakes are bundles with green wrapping and yellow strapping.
- ☐ Storage and transportation shakes may cause some shakes to lift upwards slightly. A tolerance level of ½ inch is acceptable. To assist in helping the shakes lay down you can Nail where indicated by circles "O" on the nailing strip of shake – do not nail lower than a minimum 10" from the butt end.
- ☐ IF THERE IS ANY SHAKE DAMAGED OR OUTSIDE THE ABOVE TOLERANCE DO NOT INSTALL ON FLAT ROOF SURFACES. USE IN VALLEYS, CORNERS, ETC, WHERE CUTTING IS REQUIRED.
- ☐ **You do not need to split shakes prior to installation** – you can nail down without splitting (4 nails per) and this will give you the desired look of a split shake course. If you need to split – this can be accomplished by snapping by hand in a quick motion – or by taking a knife and scoring the crease in the keyway and snapping.
- ☐ Enviroshake has 8 profiles, which are randomly factory shuffled into bundles. A bundle may have up to a maximum of 8 profiles and no less than 4 profiles due to the manufacturing process. Given this randomness, it is up to the discretion of Enviroshake as to the number of profiles that are packaged in each bundle.

As a composite product that is manufactured to replicate the look of a “weathered” cedar roof, the shakes will fade over time once installed, and will demonstrate a variance of grey color shades from dark grey to light grey similar to an aged cedar roof. This is an ongoing process over time and the transition will vary between regions and will vary between individual shakes. Over time this will even out, but there may still be variations so as to maintain the “weathered” look.

Enviroshake® Ridge Caps are designed to accent the roof, therefore they may be a colour tone darker or lighter than the Enviroshake® roofing pieces.

**The installer should be aware of potential color variations between die lots when installing. The installer should ensure that the date codes on the back of the bundles are from the same time frame, if there are bundles with different date codes they should be set aside and used on a defined roof area where there is enough material to cover this area or as a starter row to avoid having a potential sight line on the roof where the old and new product join. Never mix old product from another project with new product on a new project. Do not start a roof area unless you have confirmed that you have enough product on site to finish the area. If you run out of material you will need to hand shuffle the old material with the new material to avoid the potential for a sight line on the roof caused from a tone variation in the two die lots. For this reason, always leave the smallest roof area to the last to finish.**

**Upon finishing each roof area the contractor should stand back to view the roof and ensure that there are no visually unappealing aesthetics caused by the installation, prior to proceeding to the next roof area. Failure to do so and to install product with colour variation will leave the contractor liable for the labor and material required to fix such a problem.**

**Enviroshake® is designed to weather to a lighter grey tone once installed on the roof. Given this, it is important that when a roof area is started, it is also completed in a timely manner. Do Not start a roof area that you are not able to complete due to the roof area not being prepared or due to a lack of material on hand. If this happens and you install un-weathered product at a later date beside the existing weathered product on the roof, there will be a color disparity, and there will be a visible difference that may not go away over time.**

Due to the manufacturing process some shakes may have unfilled top corners. This material is acceptable as Enviroshake **does not need head lap** and this does not affect the performance or wind rating of Enviroshake. (Miami Dade tested to 185 mph)

**Do not begin installation until you have received your order in its entirety.**

Enviroshake recommends that snow guard devices be installed in conjunction with Enviroshake® in areas where there is a risk of snowfall accumulation and the possibility that a build-up of snow could slide off the roof causing inconvenience or harm to life and property. Please consult with your roofing contractor regarding the risk factor in your area and the appropriateness of installing these devices on your home.

The following is intended as a guide to the installation of Enviroshake®. Where applicable, local building code requirements will always take precedence and must be adhered to.

**Caution – Do not walk on an Enviroshake® roof when moisture/frost is present as surface will be slippery and greatly increases the risk of a slip and fall.**

#### **GUIDELINES**

Enviroshake® is typically installed in straight, single courses at a maximum 9” exposure, however Enviroshake® can be installed at exposures as low as 5” or in staggered courses.

**It is not required that you split the profiles unless necessary to complete a row. When breaking the shake profile, snap quickly to encourage a cleaner edge or use a knife to score the material prior to snapping.**

- Enviroshake recommends installing on 5/8” plywood. Enviroshake does not recommend installing on OSB. *Note: For rafters spaced 20 or more inches apart, 1/2- or 5/8-inch plywood is recommended. The most common rafter spacing is 24 inches, and 5/8-inch plywood is recommended for that.*

- ❑ Enviroshake® requires a minimum 3/8" space gap between all shakes.
- ❑ Minimum 1 1/2" large head ring shanked roofing nails are required. They can be hot dipped galvanized roofing nails or stainless steel roofing nails (304 or 316). \* In a coastal area, Enviroshake highly recommends the use of SS 316 fasteners. Enviroshake recommends stainless steel nails. A power-nailer is suitable for use in installation on field shakes but not recommended for caps. Nail where indicated by the circles "O" on the nailing strip of shingle. If installing on a roof where the underside of the roof deck will be visible (ie. a vaulted ceiling), minimum 1 1/4" nails (or screws) can be used on field shake to ensure they do not protrude through the decking.
- ❑ Nail where indicated by the circles "O" on the nailing strip of shake
- ❑ Nails must be fully covered by shakes and not visible in joints.
- ❑ Where applicable, only a "pure silicon" sealant should be used to cover up exposed nail heads or to seal joints on ridge caps. The sealant should be colour matched to the weathered light grey colour of Enviroshake®.
- ❑ Every field shake receives 4 nails
- ❑ Every cap receives 2 screws. Enviroshake recommends pre-drilling holes for screw placement
- ❑ It is important that the head of the nail not be driven below the top surface of the shake at any time. If you are using a power-nailer, adjust the setting to prevent this situation from occurring –very important during cold weather installations.
- ❑ Enviroshake® should not be installed in temperatures beyond -18 degrees C / 0 degrees F
- ❑ The joint between 2 shakes in one course should never be closer than 1 1/2" to a joint below or above it.
- ❑ Shakes must be cut in order to fit properly around vents, in valleys, and beside flashing. Shakes should be cut with a circular saw for straight lines or with a jig saw for curves.
- ❑ Always use an uncut factory edge along rake/gable ends.
- ❑ As a rule – never install more than 2 "full" 12" profiles side by side before using 1 of the other 5 profile pieces.
- ❑ Do NOT use set "staircase pattern" which is created when using same setback and all full pieces.
- ❑ A Synthetic underlay is required for underlayment. Enviroshake supplies a peel and stick synthetic peel and stick underlayment, Enviroshield, for each project. *\*Enviroshield is required for the Gold Warranty*
- ❑ Enviroshield or a 36" ice/water barrier membrane is used on eaves, valleys, rakes, hips and ridges
- ❑ Ridge caps are installed at a maximum of 9" of exposure and are fastened with 2 screws (min. 2 1/2"). When using ridge caps with ridge vents the slope of the ridge cap should be 1 less than the roof slope (ie. if it's a 7/12 slope on the roof and you're installing over a ridge vent - order 6/12 ridge caps).
- ❑ Shuffled loads are like "die lots". Enviroshake recommends that the installer **DOES NOT** start one elevation with one shuffled lot# and finish with another. It is recommended that any leftover material then be used for starters or hips and ridges, OR shuffle them in with the next lot to be applied.
- ❑ Enviroshake recommends that the installer complete one roof section at a time with shuffled material before moving on to the next section.
- ❑ If installing on a 2/12 roof, this is considered low slope and Enviroshake recommends installing as per our low slope installation addendum.
- ❑ If a Class A roofing system is required, Enviroshake recommends installing as per our Class A system installation addendum.
- ❑ If installing on a turret, do not use full shakes, use split shakes to best accommodate the curve
- ❑ If installing on a curved roof, you may have to drop the exposure through the transition area

## INSTALLING SHAKES

### Underlayment

Before applying the Enviroshake supplied peel and stick synthetic underlayment (Enviroshield), nail metal drip edge along the eaves. Cover the entire roof deck with Enviroshield. After the underlay is laid, nail drip edges along the rakes. Cap nail the top edges of the underlay strips into the roof deck every 3 feet, or as required by weather conditions.

If not using Enviroshield, and not using a peel and stick underlayment, then an Ice/water barrier material (36 in.) must then be installed along the eave of the roof as per local building code. The bottom edge of the synthetic underlayment must be overlapping the ice and water barrier by 4".

### Starter Course (Always gap the starter row, as you would do the entire roof- 3/8" gap between the starter row shake)

Cut the Enviroshake in half on the nail bar line, and use the thin end (the tail) as the starter row (with the clean cut edge facing

down towards the drip edge), and then use the butt end of the shake for the finishing row at the top under the ridge cap. It is important for the first course of shingles to be straight. To align, the shake needs to be even with the drip edge and nail down. The second course should be installed directly over the starter course, but should project a maximum 1/2" beyond the starter course (drip edge).

To insure that your courses remain straight, **snap a chalk line every course** and space shakes at a minimum of 3/8" apart.

The joint between 2 shakes in one course should never be closer than 1½" to a joint below or above it. This also applies to shakes with simulated joints (Example: as found in our 5-7 split- shake profile, for example).

### **Valley**

Use 24" wide W-flashing (heavy gauge) in the valleys. Copper is recommended for added longevity, however galvanized or painted aluminum is acceptable. Apply Enviroshield (if not using Enviroshield use an ice and water barrier material (36")) in the valley and along the rakes prior to installing the flashing. When nailing shakes along valleys, be sure to nail no further than 2" into valley. To keep shakes along the valleys straight, use a 1" x 4" board as a guide. Place the board in the valley, one side flush against the center. Lay the last shake of the course at the valley over the 1 x 4, mark a line across the shake where it passes the board and cut. This will provide an ample space for runoff on both sides of the valley. Select unsnapped 12" shakes for this.

**NOTE: Enviroshake requires that all installers review the Installation Guide Manual prior to commencing installation. FAILURE TO DO SO MAY VOID WARRANTY IF THE INSTALLATION GUIDE INSTRUCTIONS ARE NOT FOLLOWED. All installers still need to watch for colour variation with the bundles/skids at the site and further shuffle the material accordingly if this is the case.**

### **INSTALLING MULTI-TONE ENVIROSHAKE**

To create the Multi-Tone look, 50% AC- Aged Cedar Enviroshake is used, and 50% SC- Silvered Cedar Enviroshake is used. The skids will arrive on site with the SC Enviroshake being in a white wrap, and AC Enviroshake being in a green wrap. The bundles will be marked with SC having white straps, and AC having yellow straps. The CCMC sticker on the back of every bundle will also state whether the bundle is the AC or SC SKU. All bundles need to be shuffled on site, and every shake needs to be broken along the preformed keyway. Once the pieces are broken they are to be installed in an alternating pattern of 1 AC shake, followed by 1 SC shake as you move down the course. IE. 1 SC, 1 AC; 1 SC, 1 AC; 1 SC, 1 AC etc. Additionally, each subsequent row should start with the opposite colour.

IE.

SC, AC, SC, AC, SC, AC

AC, SC, AC, SC, AC, SC

SC, AC, SC, AC, SC, AC

All split shakes required 2 nails per piece. **The required gapping of minimum 3/8" between every shake must be maintained.** Enviroshake recommends using AC-Aged Cedar Enviroshake ridge caps with a Multi-Tone Enviroshake roof.

### **Enviroshake Staggered Coursing:**

This installation details below are based on a 7.5" reveal / 12.5 bundles per square.

**Step 1:** For this installation process, the Enviroshake shakes need to each first be split. This can be done by holding the shake with two hands, one on the left and right side of the shake in the middle, and applying pressure to the keyway on the shake using a quick snapping action over ones knee or similar object.

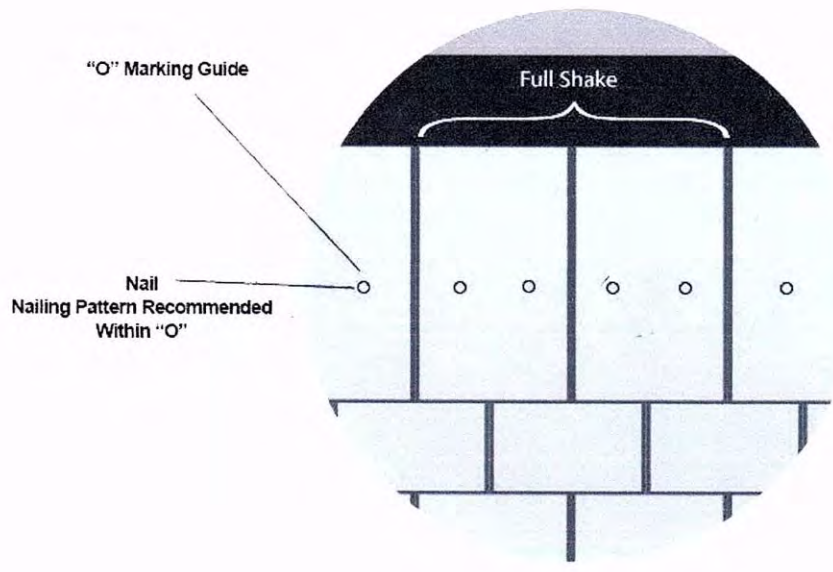
**Step 2:** See above for starter row instructions. Lay the first course of shakes flush on top of the starter. Then snap a horizontal line at a 7.5" reveal.

**Step 3:** The first shake on the second course should be installed putting the tip of the shake on the chalk line. The next or adjacent shake should be 1" below the line. The third shake should be on the line; the fourth shake should be below the line. This continues in the same pattern all the way across the roof one shingle tip on the line and the next 1" below the line.

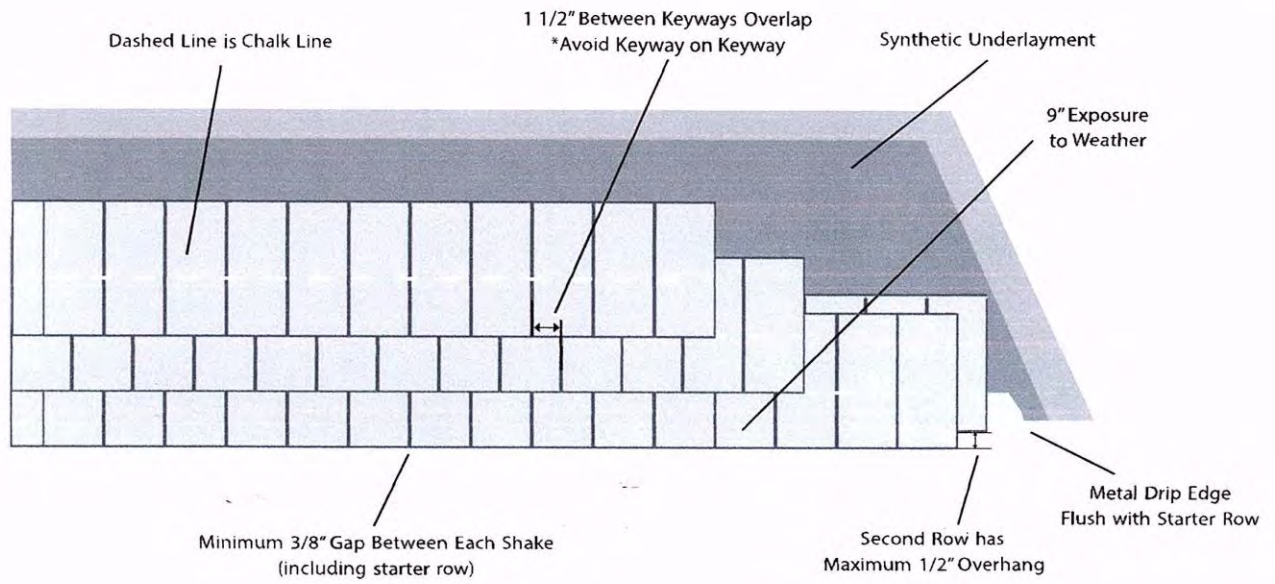
**Step 4:** Snap another horizontal line 7.5" above the line you chalked in Step 2. Start laying shakes as in Step 2 with the first shake tip on the line and the next shake tip 1" below the line.

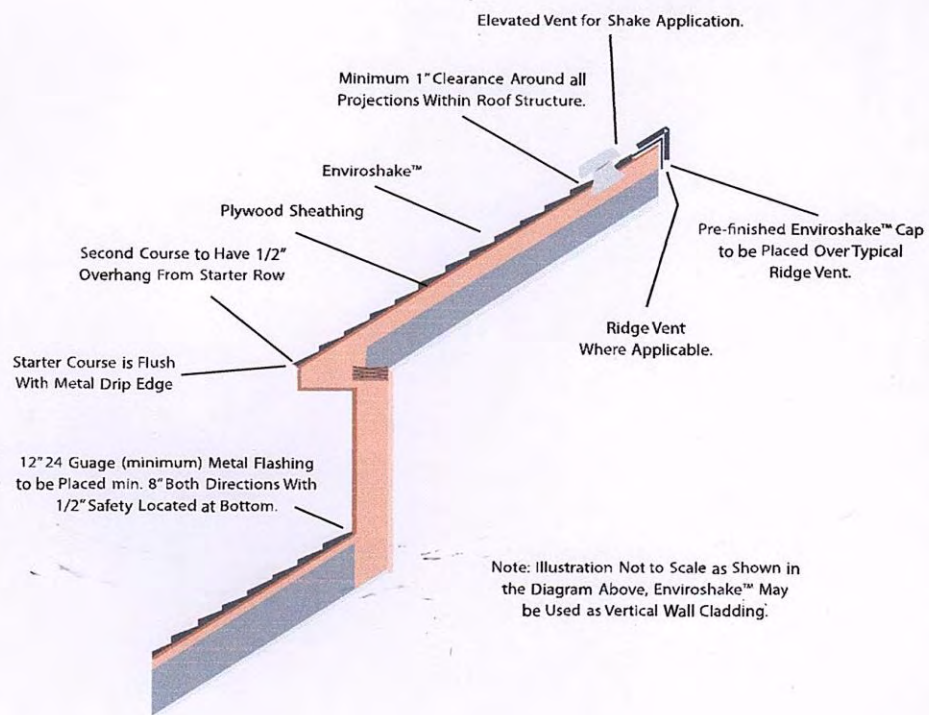
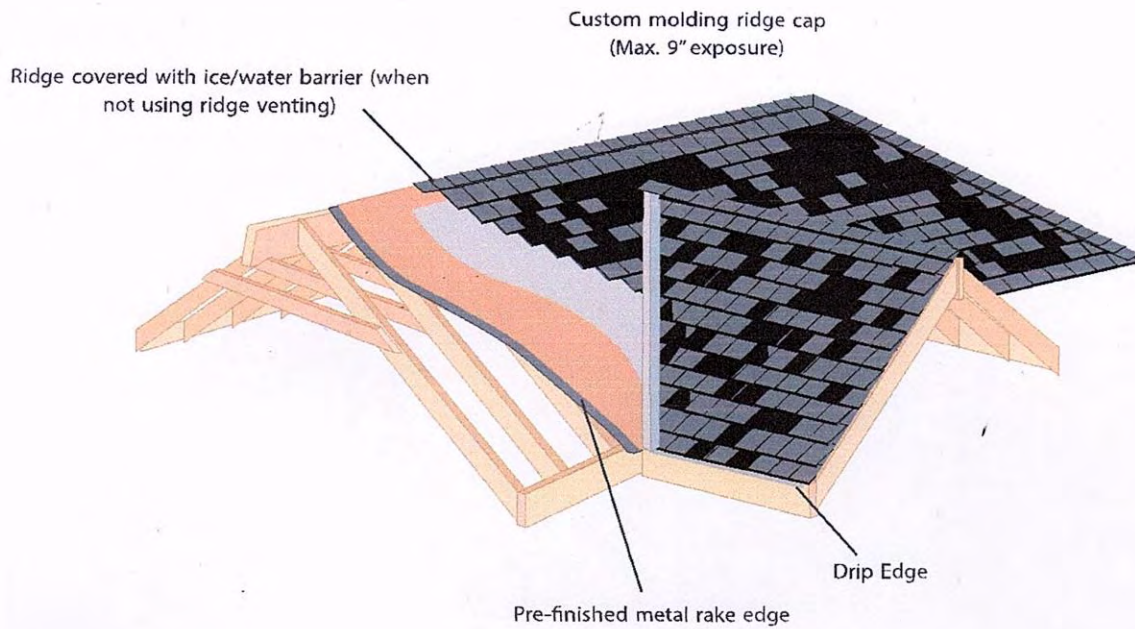
**Step 5:** Continue up the roof in this manner.

**Do not use red chalk lines on Enviroshake as the chalk may permanently discolour the shake.**



\*Illustrated as 6x6 Split Enviroshake\*  
 \*Use 4 Nails Per Shake\*





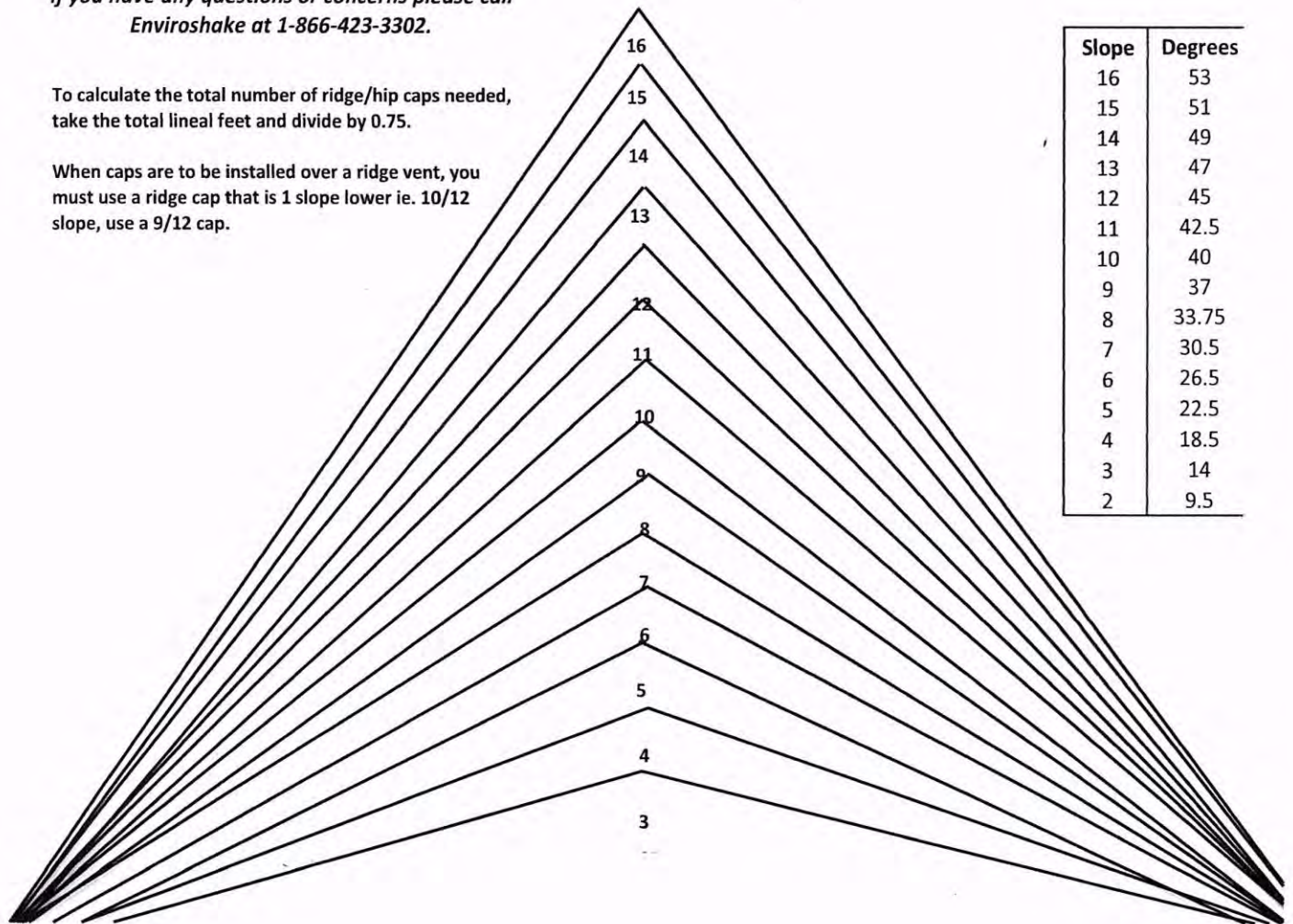
# Enviroshake® Slope Chart

Quality Engineered Roofing

If you have any questions or concerns please call  
Enviroshake at 1-866-423-3302.

To calculate the total number of ridge/hip caps needed,  
take the total lineal feet and divide by 0.75.

When caps are to be installed over a ridge vent, you  
must use a ridge cap that is 1 slope lower ie. 10/12  
slope, use a 9/12 cap.



Slope	Degrees
16	53
15	51
14	49
13	47
12	45
11	42.5
10	40
9	37
8	33.75
7	30.5
6	26.5
5	22.5
4	18.5
3	14
2	9.5

## Enviroshake® Hip Conversion Chart

Slope #1 (with degrees)															
Slope #2 (with degrees)	4 (18.5°)	5 (22.5°)	6 (26.5°)	7 (30.5°)	8 (33.75°)	9 (37°)	10 (40°)	11 (42.5°)	12 (45°)	13 (47°)	14 (49°)	15 (51°)	16 (53°)		
4 (18.5°)	3														
5 (22.5°)	3	4													
6 (26.5°)	4	4	4												
7 (30.5°)	4	4	4	5											
8 (33.75°)	4	4	5	5	5										
9 (37°)	4	5	5	5	5	6									
10 (40°)	5	5	5	5	6	6	6								
11 (42.5°)	5	5	5	6	6	6	6	7							
12 (45°)	5	6	6	6	6	6	7	7	7						
13 (47°)	6	6	6	6	6	7	7	7	7	7					
14 (49°)	6	6	6	6	7	7	7	7	7	8	8				
15 (51°)	6	6	6	7	7	7	7	7	8	8	8	8			
16 (53°)	6	6	7	7	7	7	7	8	8	8	8	8	8		

**NOTES:**

Use this chart for finding the ridgecap to use on a hip where two sloped roof sections meet:

1. Find the column and row based on the slope of the two roof sections that
  2. The number in that box is the corresponding ridgecap to use along that
- To calculate the number of Enviroshake ridgecaps needed along the hip, you will need to find the true length of the hip and divide that figure by 0.75. This calculation is based on a 9" exposure.

This is valid for eave corner angles of 90 degrees only.

The slope are shown as the rise over a run of 12. (ie. 4:12 is shown as 4)

\* All degrees are listed beside the corresponding slope

# Appendix – B

## Brief history of the Grooms Tavern



# Brief History of the Tavern

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The Historic Grooms Tavern acquired by the Town of Clifton Park in 1999 and placed on the National Register of Historic Places was restored by the town with the assistance of several state grants, it currently serves as a historical and cultural center for Clifton Park, used by a variety of town groups for meetings and special events.

Because of the increased population due to the opening of the Erie Canal through the town in 1825, it was decided to divide Halfmoon in to two towns. Thus in 1828 the western part of Halfmoon became the Town of Clifton Park, named for the Clifton Park land patent of 1708. This new town was officially formed on April 1 at the newly built tavern of James Groom. The public room where this meeting happened has been restored and looks much the way it did in 1828. Only a mile from the canal and on a major route from Schenectady to Waterford, tavern business was booming.

James Groom, the owner of the Tavern, served for a time as Town Clerk and as Town Supervisor. He later served in the State Assembly. His son, Samuel, took over operation of the Tavern in 1847, also serving as a blacksmith in the adjacent building. Town Board meetings were held at the Tavern on a regular basis. By the 1870s, the Tavern, also referred to by this time as a hotel, was losing business and the tap room was converted to a general store. The store with original counters and shelves has been restored and looks much the way it did in 1875.

Samuel's son, Jim Groom, continued to operate the store, adding gasoline pumps for the new horseless carriages, until his death in 1922. The store taken over by Ed Klingbeil continued to carry a general line of merchandise until his death in 1971. Older residents have fond memories of Ed and his red toupee.

Since its restoration by the town, the Tavern held a variety of exhibits including one on the Erie Canal and another on baseball. A variety of public programs have been offered by Parks and Recreation and the Friends of Grooms Tavern, including lectures on town history and other historical subjects, music programs featuring period tavern music, Irish music and folk music. The Tavern has also served as an information center for our annual farm fest. Boy Scouts, Girl Scouts and school children come to the tavern to learn about life in Clifton Park a century and a half ago. Several Town Board meetings have also been held at the historic Tavern commemorating the very first one in 1828.

This historic building together with the adjacent 1847 blacksmith shop originally operated by Samuel Groom, and the 1896 Grange Hall representing the Town's agricultural heritage, form an invaluable heritage complex for educating the public on Town History while providing space for cultural and historical programs and events. This complex of National Register historical buildings will be central to our Town's bicentennial celebration in 2028.

*John L. Scherer*

Town Historian





# Proposed Exterior Renovation Project

## GROOMS TAVERN ca. 1825

290 Sugar Hill Road, Town of Clifton Park, Saratoga County, New York



PREPARED BY:

TOWN OF  
**CLIFTON PARK**  
BUILDING & DEVELOPMENT  
DEPARTMENT



DRAWING  
21002

SCALE:  
NONE

DATE  
Apr. 2021

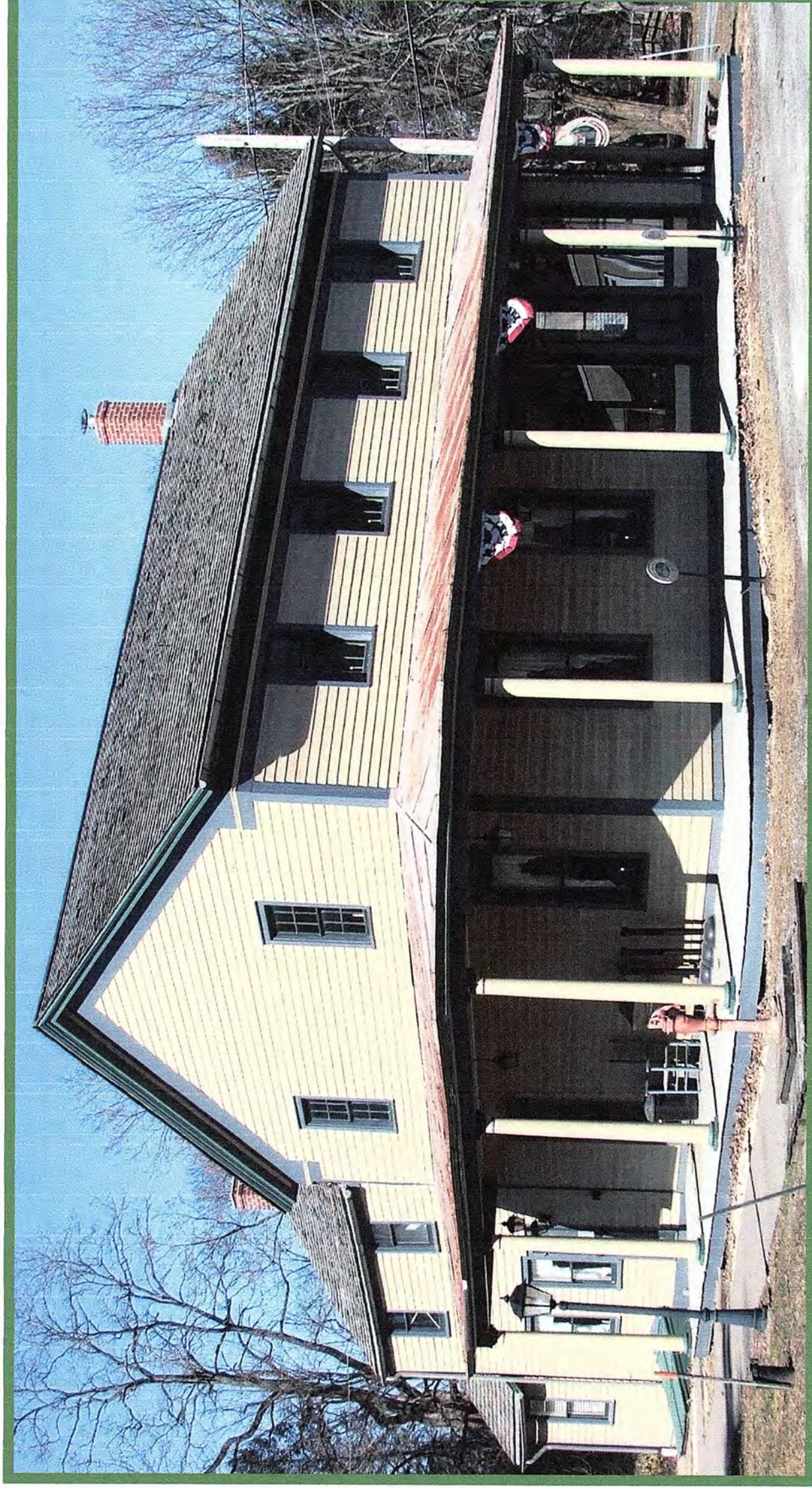
DRAWN BY:  
MSK

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**  
290 Sugar Hill Road, Town of Clifton Park, New York

**COVER SHEET**

**SHEET**

**1**



FIND OUTLINE OF RENOVATION AREAS ON SHEET NO. 2

**April 2021**

PREPARED BY:

TOWN OF  
**CLIFTON PARK**  
BUILDING & DEVELOPMENT  
DEPARTMENT



DRAWING  
21002

SCALE:  
NONE

DATE  
Apr. 2021

DRAWN BY:  
MSK

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**  
290 Sugar Hill Road, Town of Clifton Park, New York

## AREAS OF RENOVATION

## SHEET

# 2

### RENOVATION AREA NO. 2

EXISTING STANDING SEAM METAL ROOF TO BE REMOVED. NEW STANDING SEAM ROOF TO BE INSTALLED WITH COLOR TO MATCH EXISTING METAL ROOF SHOWN ON THE LEFT SIDE OF ONE-STORY PORTION OF THE BUILDING. SEE SHEET NO. 4

### RENOVATION AREA NO. 3

EXISTING CEDAR SHAKE ROOF SHINGLES TO BE REMOVED FROM THE MAIN TWO-STORY STRUCTURE AND ONE-STORY WING SHOWN BELOW. NEW COMPOSITE AGED CEDAR ENVIROSHAKE, **(OR AN APPROVED EQUAL)**, TO BE INSTALLED FOLLOWING THE MANUFACTURERS GUIDELINES, SPECIFICATIONS AND INSTALLATION GUIDE. FIND ROOF PLAN AND INFORMATION ON SHEET NO. 5



AREA NO. 1  
EXISTING PORCH DECK  
REMOVAL AND NEW  
DECK INSTALLATION

AREA NO. 2

AREA NO. 3

AREA NO. 3

AREA NO. 3

AREA NO. 3

EXISTING METAL ROOF. COLOR  
TO BE FOLLOWED FOR  
RENOVATION AREA NO. 2

NO WORK IN THIS AREA

### RENOVATION AREA NO. 1

THE 8" DIAMETER COLUMNS ARE CURRENTLY PLACED OVER THE TOP OF THE WOOD DECKING ON THE WRAP-AROUND PORCH ABOVE. IN ORDER TO REMOVE EXISTING AGED AND ROTTED WOOD DECKING AND INSTALL NEW TREX TRANSCEND COMPOSITE DECKING, **(OR AN APPROVED EQUAL)**. IN ORDER TO WORK ON THE DECKING, COLUMNS MUST BE REMOVED. PRIOR TO COLUMN REMOVAL, EXISTING PORCH ROOF MUST BE BRACED/SHORED UP, MINIMUM 8 PLACES, NEAR EXISTING COLUMN LOCATIONS. SEE SHEET NO. 3. AFTER NEW DECKING IS INSTALLED, COLUMNS CAN BE RE-INSTALLED.

# RENOVATION AREA NO. 1

PREPARED BY:

TOWN OF  
**CLIFTON PARK**  
BUILDING & DEVELOPMENT  
DEPARTMENT



DRAWING  
21002

SCALE:  
NONE

DATE  
Mar. 2021

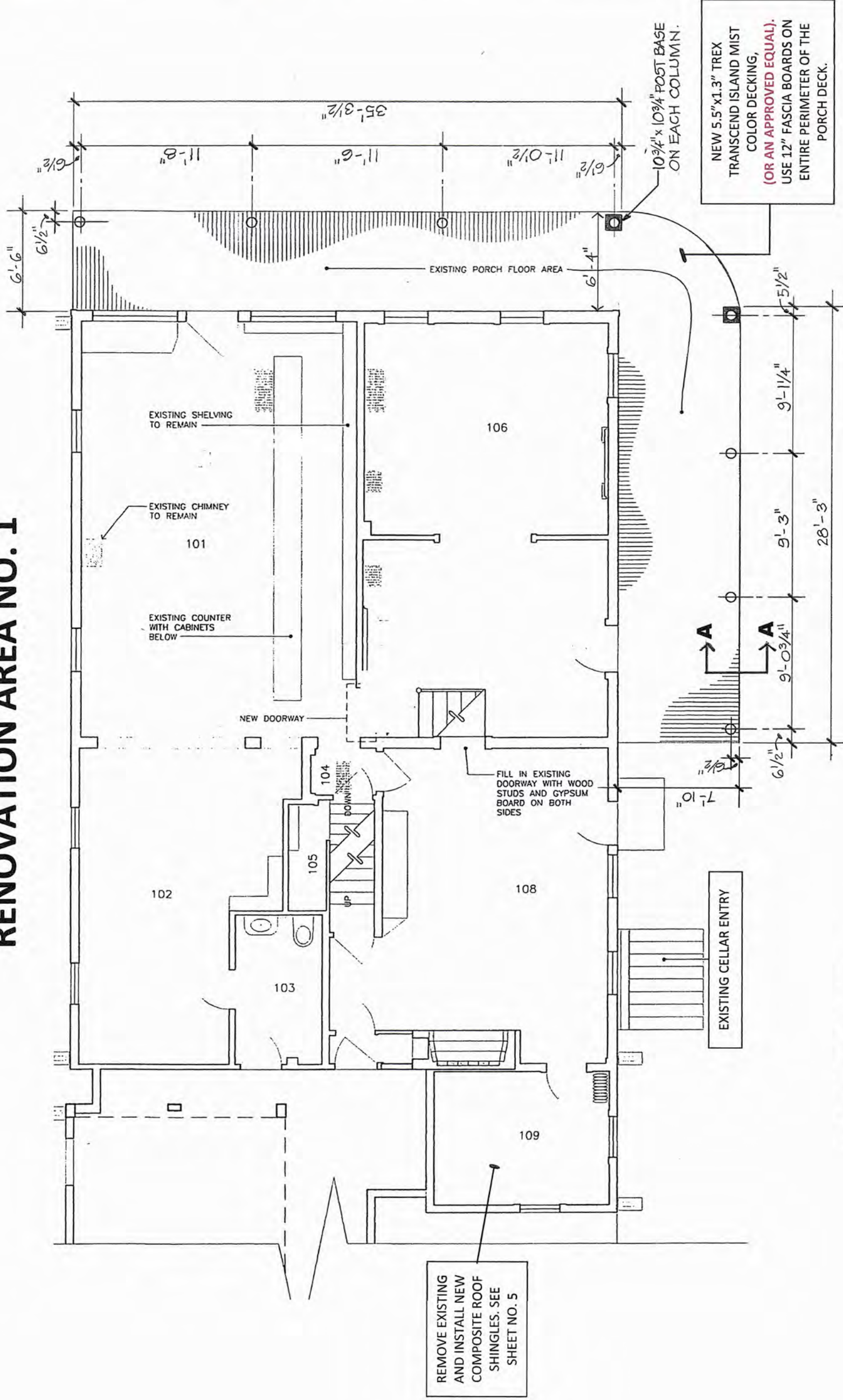
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**PORCH DECK REPLACEMENT**

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**  
290 Sugar Hill Road, Town of Clifton Park, New York

**SHEET**

**3**





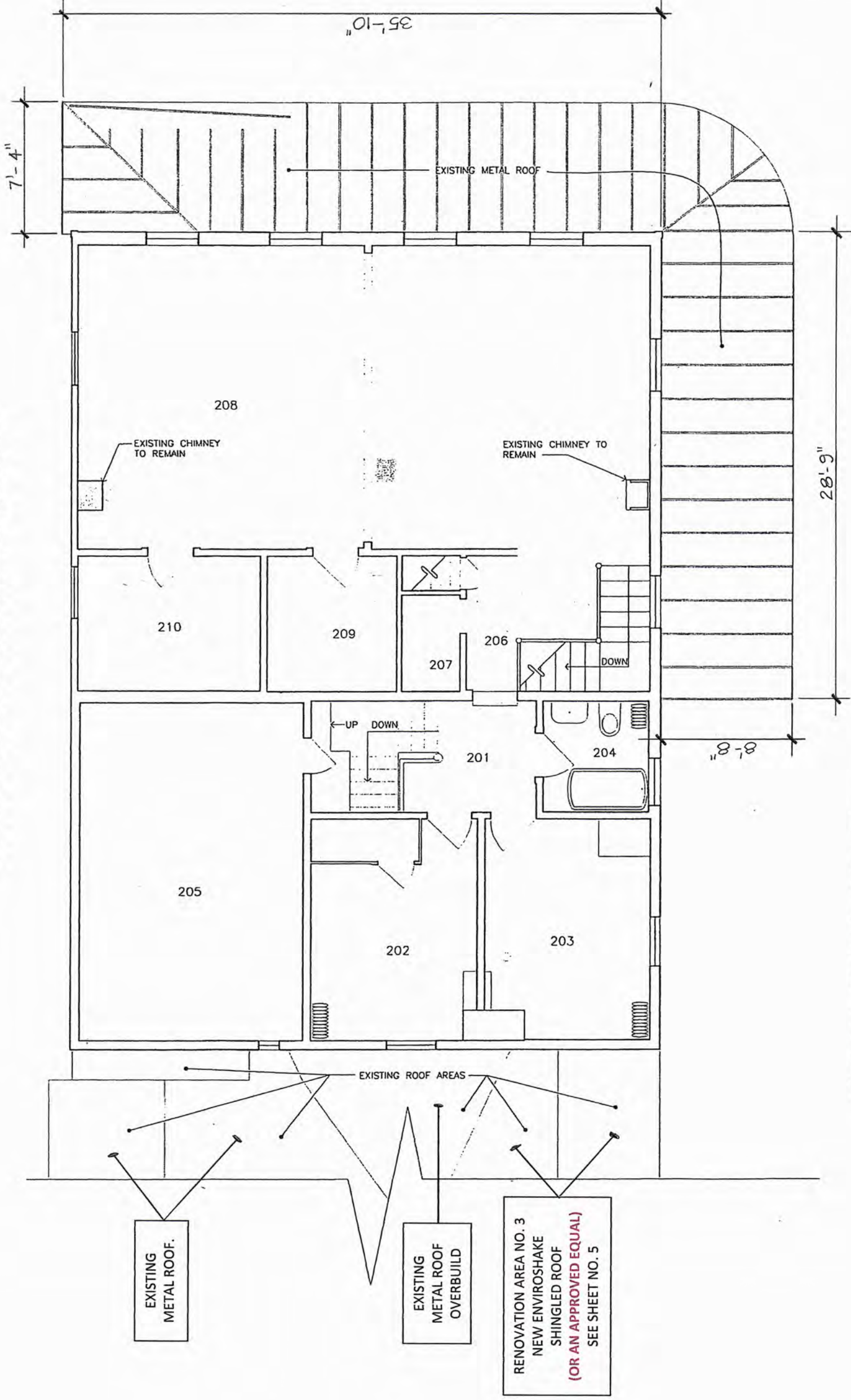
## FIRST FLOOR

NOT TO SCALE

- ENTIRE PORCH WOOD DECK TO BE REMOVED DUE TO DETERIORATION AND ROTTING. ALL EXISTING GROUND CONTACT HEADERS UNDER THE DECK TO BE INSPECTED FOR STRUCTURAL STABILITY AND REPLACED IF REQUIRED.
- THE 8" DIAMETER COLUMNS SHOWN ABOVE, ARE CURRENTLY PLACED OVER THE TOP OF WOOD DECKING. IN ORDER TO REMOVE EXISTING DETERIORATED WOOD DECK AND INSTALL NEW COMPOSITE DECKING, THESE COLUMNS MUST BE REMOVED AND RE-INSTALLED AFTER NEW DECK IS INSTALLED. PRIOR TO REMOVAL OF THE COLUMNS, ENTIRE ROOF MUST BE SHORED UP.
- FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR TREX TRANSCEND, (OR AN APPROVED EQUAL), DECKING
- PRIOR TO RE-INSTALLATION OF THE COLUMNS, ALL COLUMN FOOTINGS MUST BE VERIFIED FOR EXISTING DEPTH AND TYPE OF FOOTING MATERIAL AND MUST BE RECONSTRUCTED IF REQUIRED. SEE SECTION A-A ON SHEET NO. 7

# RENOVATION AREA NO. 2

<b>PREPARED BY:</b> TOWN OF <b>CLIFTON PARK</b> BUILDING & DEVELOPMENT DEPARTMENT			DRAWING 21002	SCALE: NONE	DATE Mar. 2021	DRAWN BY: MSK
			290 Sugar Hill Road, Town of Clifton Park, New York <b>JAMES GROOMS TAVERN</b> Proposed Exterior Renovations			
<b>METAL ROOF REPLACEMENT - PORCH</b>						



## METAL ROOF PLAN

NOT TO SCALE

- EXISTING PORCH METAL ROOF TO BE REMOVED. EXPOSED SHEATHING TO BE INSPECTED AND VERIFIED FOR ACCEPTABLE CONDITION.
- NEW STANDING SEAM METAL ROOF TO BE INSTALLED FOLLOWING ALL MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- METAL FLASHING TO BE INSTALLED AT NEW METAL ROOF AND THE MAIN BUILDING JUNCTURE. NEW DRIP EDGE TO BE INSTALLED.
- NEW METAL ROOF COLOR TO MATCH EXISTING METAL ROOF LOCATED ON ONE STORY SECTION OF THE BUILDING ON THE LEFT. SEE SHEET NO.2 FOR VIEW OF EXISTING METAL ROOF AND PORTION OF PORCH ROOF TO BE REPLACED.
- VERIFY WITH THE TOWN IF SNOW GUARDS ARE RECOMMENDED AT TWO LOCATION AREAS OF THE BUILDING. SNOW GUARDS ARE SHOWN ON EXISTING METAL ROOF OVER A REAR PORTION OF THE TAVERN AND CAN BE VIEWED ON SHEET NO. 2.

# RENOVATION AREA NO. 3

PREPARED BY:

TOWN OF  
**CLIFTON PARK**  
BUILDING & DEVELOPMENT  
DEPARTMENT



## MAIN ROOF SHINGLE REPLACEMENT

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**  
290 Sugar Hill Road, Town of Clifton Park, New York

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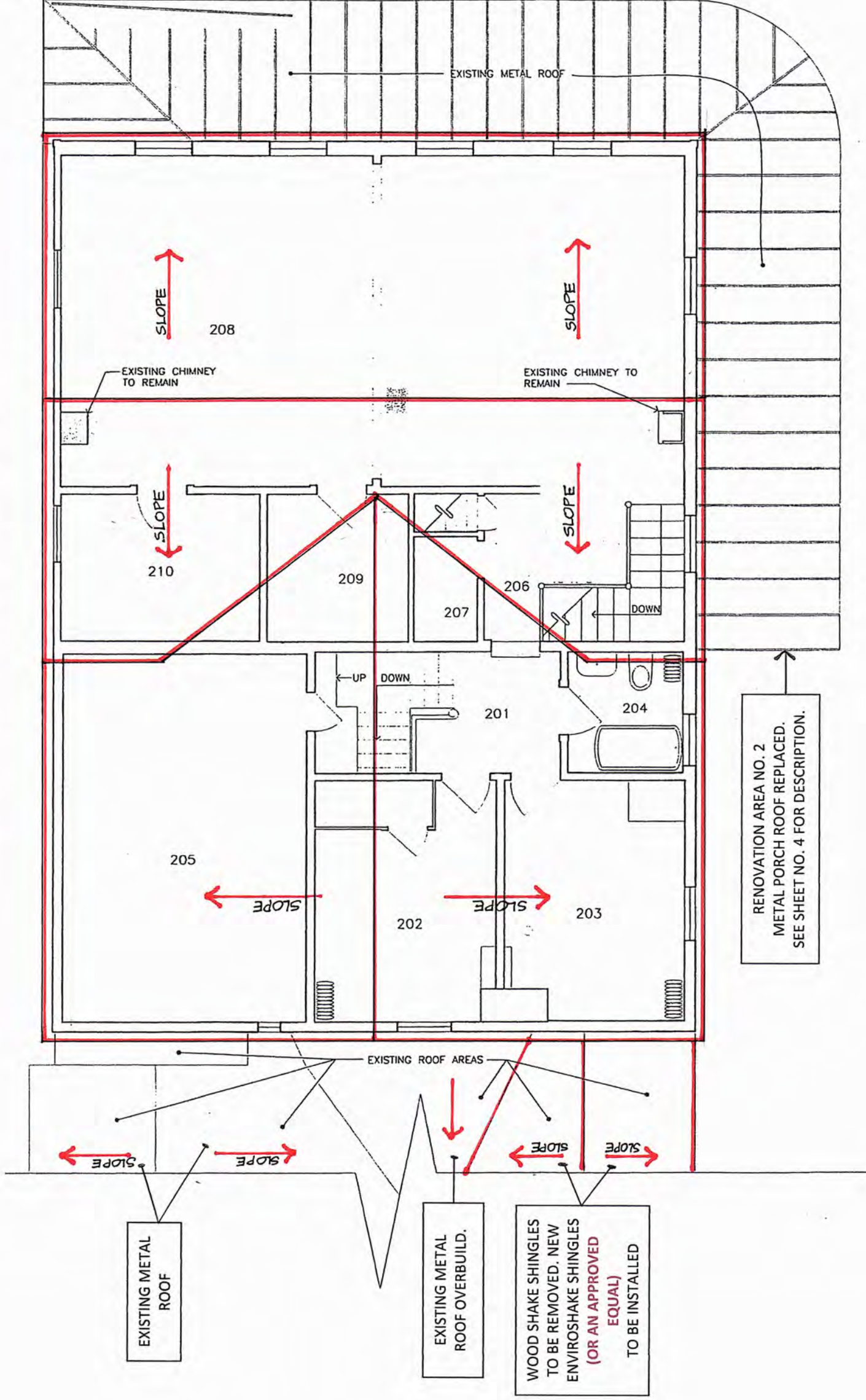
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DATE  
Mar. 2021

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**SHEET**

**5**



### MAIN BUILDING ROOF PLAN

NOT TO SCALE

- REMOVE EXISTING ROOF WOOD SHAKE SHINGLES. EXPOSED SHEATHING TO BE INSPECTED AND VERIFIED FOR ACCAPTABLE CONDITION. VERIFY IF WATER AND ICE SHIELD IS PRESENT AT PERIMETERS OF ROOFS AS REQUIRED BY RESIDENTIAL BUILDING CODE.
- INSTALL NEW AGED CEDAR COLOR ENVIROSHAKE ROOF SHINGLES, (OR AN APPROVED EQUAL), AS PER MANUFACTURERS RECOMMENDATIONS AND INSTALLATION GUIDE SUPPLIED WITH THIS SET OF PLANS.
- REPLACE AND INSTALL PROPER FLASHING AROUND EXISTING TWO BRICK CHIMNEYS VISIBLE ON SHEET NO. 1 AND NO. 2.
- CONSTRUCT VALLEYS AND UNDERLAYMENT AS PER MANUFACTURERS SPECIFICATIONS. SEE SHEET NO. 6 FOR DETAILS FOR NEW COMPOSITE ROOF SHINGLE INSTALLATION.

PREPARED BY:

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BUILDING & DEVELOPMENT  
DEPARTMENT



DRAWING  
21002

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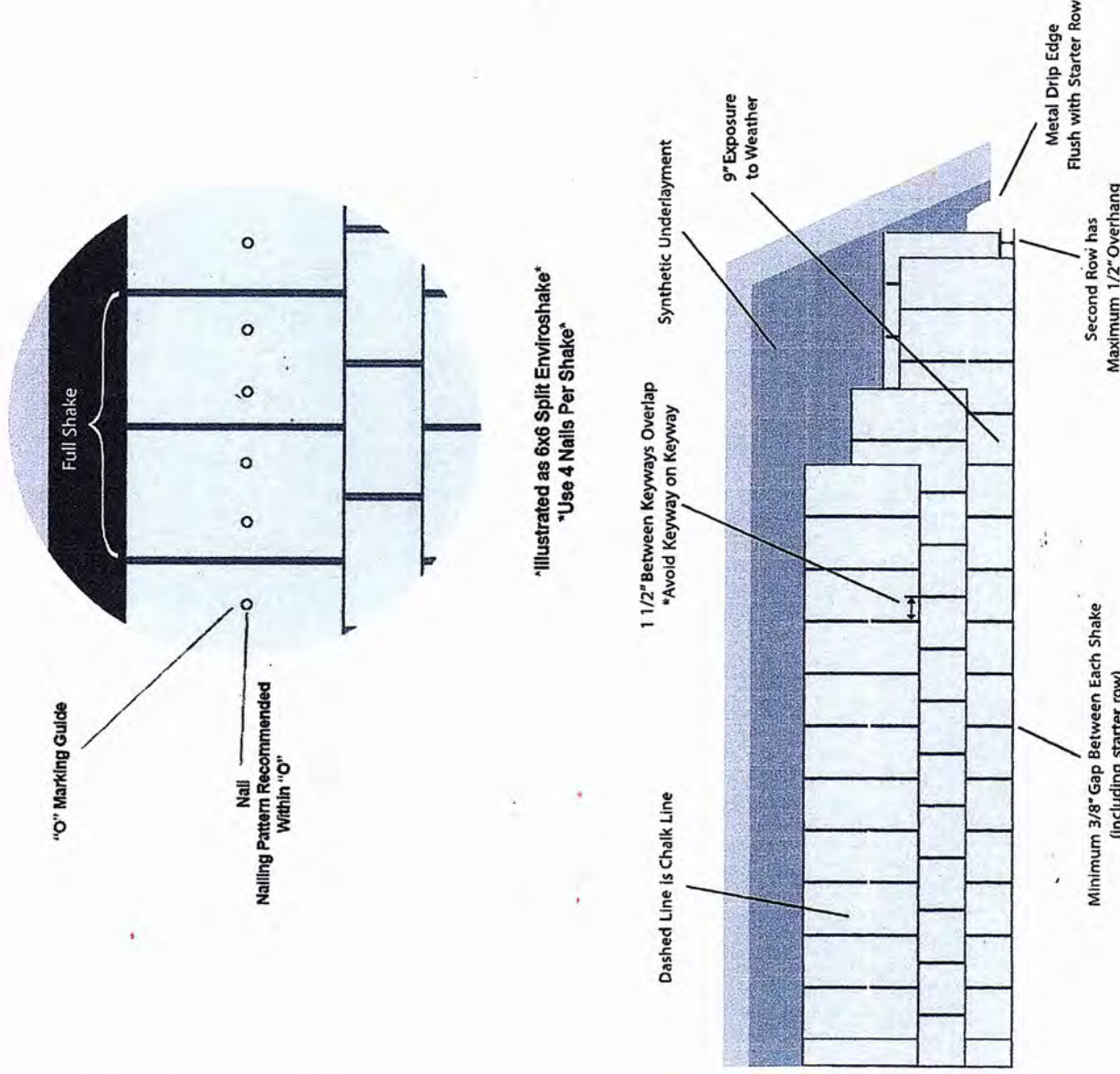
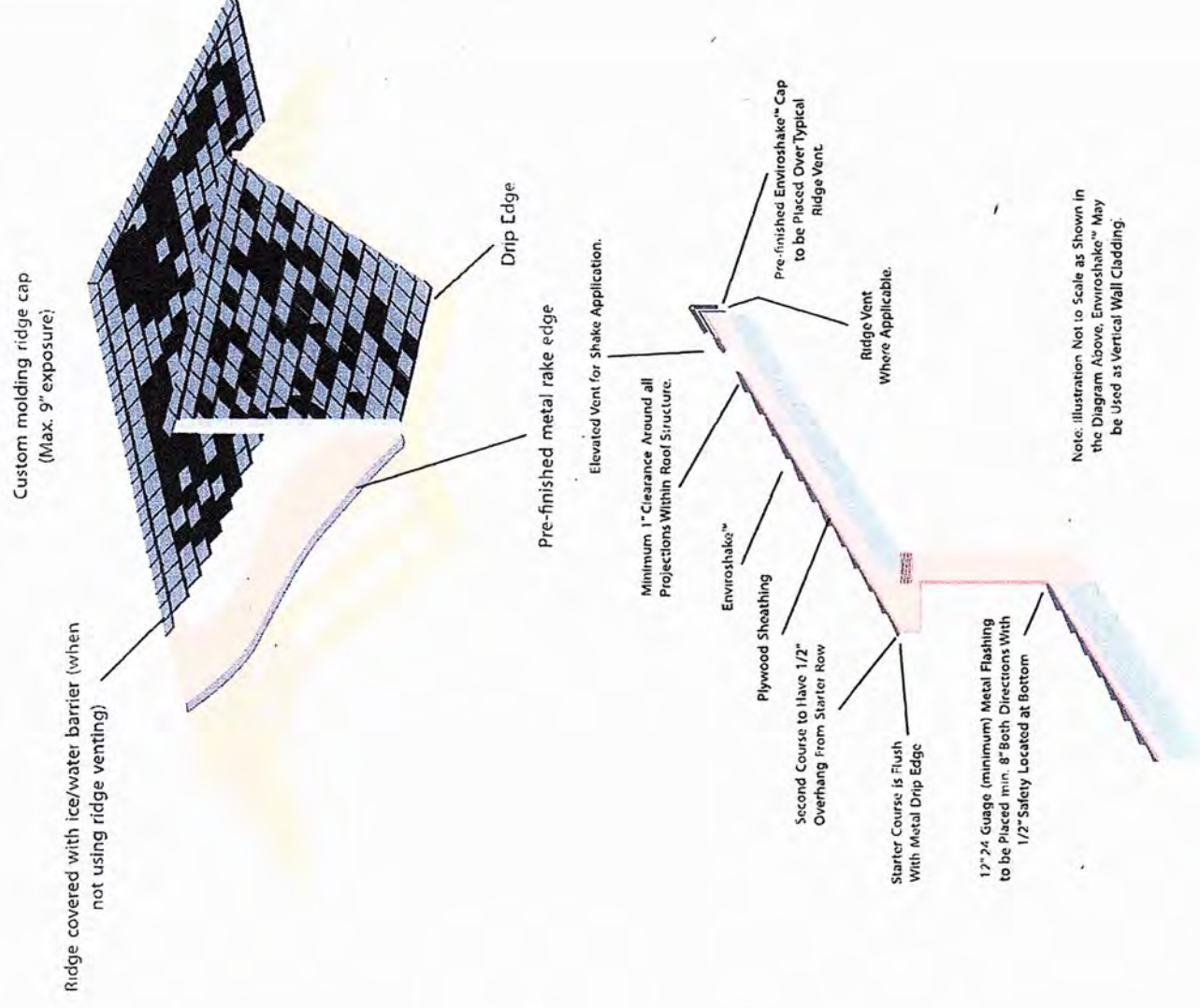
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**SHINGLE INSTALLATION DETAILS**

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**  
290 Sugar Hill Road, Town of Clifton Park, New York

**SHEET**

**6**



**MISCELLANEOUS ROOF SHINGLE DETAILS**

**NOT TO SCALE**

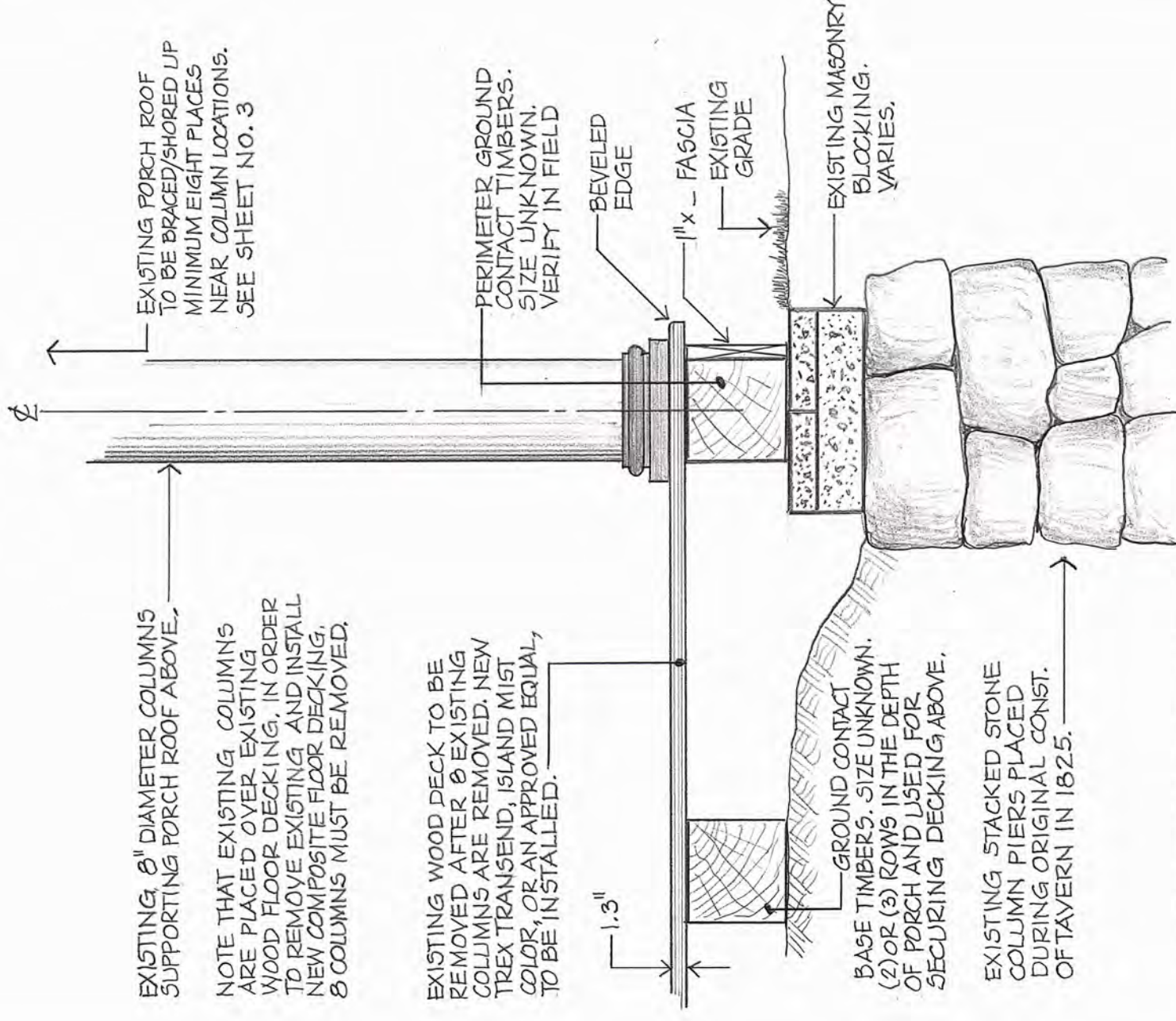
- ROOF COMPOSITE SHINGLES MANUFACTURED BY ENVIROSHAKE, P.O. BOX 1462 CHATHAM, ONTARIO CANADA, N7M 5W8 ( 1-866-423-3302 ) **OR AN APPROVED EQUAL.**
- FOLLOW ALL MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS AND INSTALLATION PROCEDURES ATTACHED SEPARATELY TO THESE PLANS. READ THE INSTALLATION GUIDE MANUAL PROVIDED WITH BUNDLES OF COMPOSITE SHAKE SHINGLES.
- NOTE THAT THE ROOFING SYSTEM REQUIRES ENVIROSHAKE RIDGE CAP AND BE SURE TO COVER ENTIRE ROOF WITH A PEEL AND STICK SYNTHETIC UNDERLAYMENT (ENVIROSHIELD) WHICH IS SUPPLIED WITH ENVIROSHAKE SHINGLES. ENVIROSHIELD IS REQUIRED FOR A FULL GOLD WARRANTY.
- NOTE THAT THE VALLEYS ARE NOT COVERED WITH SHINGLES. 24" WIDE, HEAVY GAUGE, GALVANIZED OR PAINTED ALUMINUM IS USED IN ALL VALLEYS. SEE ABOVE.

## GENERAL NOTES:

- CONTRACTOR SHALL APPLY FOR AND PROPERLY POST REQUIRED BUILDING PERMIT AS WELL AS ARRANGE FOR ALL REQUIRED INSPECTIONS BY THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE/LOCAL BUILDING CODES AND SHALL BE IN ACCORDANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONTRACTOR SHALL PERFORM ALL MISCELLANEOUS REMOVALS, MODIFICATIONS, CHANGES, CONSTRUCTION AND CLEANUP REQUIRED TO COMPLETE THE GENERAL SCOPE OF THIS PROJECT.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS AND COMPONENTS NECESSARY FOR COMPLETION OF ALL THREE RENOVATION AREAS SHOWN ON SHEET NO. 2 OF THE PLANS AND PROVIDE A COMPLETED STRUCTURALLY SOUND AND WEATHER TIGHT ROOFS AND PORCH DECK.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND SAFETY PRECAUTIONS IN CONNECTION WITH THIS WORK.
- CONTRACTOR SHALL INDEMNIFY THE TOWN OF CLIFTON PARK AND THEIR AGENTS THROUGH AN ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, DIMENSIONS, ROUGH-OPENING SIZES, ROOF PITCHES, ETC., AT THE SITE PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT OF ANY DISCREPANCIES AND/OR DEVIATION FROM THESE DRAWINGS FOR REVIEW AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS WHICH ARE NOT REPORTED TO THE TOWN OF CLIFTON PARK BUILDING DEPARTMENT.
- ALL WOOD FRAMING WITHIN 6" OF FINISHED GRADE OR ON GRADE, SHALL BE PRESSURE TREATED LUMBER, GROUND CONTACT TYPE.
- PRIOR TO REMOVAL OF EIGHT EXISTING COLUMNS, ENTIRE PORCH ROOF ABOVE MUST BE BRACED/SHORED UP MINIMUM EIGHT PLACES. (SEE SHEET NO. 3 FOR LOCATIONS) TEMPORARY ROOF BRACES TO BE MINIMUM 2X10 #SPF2 GRADE LUMBER AND MUST BE PROTECTED FROM ACCIDENTAL MOVEMENT.
- METAL CONNECTORS SHALL NOT BE LESS THAN 0.036" THICK, COATED THICKNESS. GALVANIZED SHEET STEEL: ASTM A 446, GRADE A COATING G60.
- ALL EXISTING BASE TIMERS, (SIZE UNKNOWN), TO INCLUDE PERIMETER TIMBERS OF THE DECK, WHICH ARE USED FOR SECURING NEW PORCH FLOOR, MUST BE VERIFIED FOR CONDITION AND STRUCTURAL INTEGRITY. ANY BASE GROUND CONTACT TIMBERS DEEMED TO BE IN AN UNACCEPTABLE CONDITION BY THE TOWN BUILDING DEPARTMENT, SHALL BE REPLACED IN KIND. SEE PORCH DECK SECTION A-A ON THE RIGHT.
- ANY STRUCTURAL MEMBER SUBJECT TO CUTTING, DRILLING OR NOTCHING SHALL BE REINFORCED, REPAIRED AND/OR REPLACED, AND LEFT IN SAFE, STRUCTURALLY SOUND CONDITION IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW YORK STATE RESIDENTIAL CODE, LATEST ADDITION.
- ALL EXISTING COLUMNS, WHICH ARE BEING INSTALLED BACK OVER THE NEW DECKING, SHALL BE PLACED TO ITS ORIGINAL HEIGHT AND LOCATION.
- ALL AREAS OF RENOVATION WORK MUST BE CLEANED OF ALL DEBRIS EACH NIGHT AND SECURED WITH TEMPORARY FENCING AND "DANGER - DO NOT ENTER" SIGNAGE FACING THE PUBLIC.
- UNAUTHORIZED ALTERATIONS OF THESE DRAWINGS AND DOCUMENTS IS A VIOLATION OF NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209.

## PORCH DECK SECTION A-A RENOVATION AREA NO. 1

SCALE: 1" = 1'-0"



EXISTING 8" DIAMETER COLUMNS SUPPORTING PORCH ROOF ABOVE.

NOTE THAT EXISTING COLUMNS ARE PLACED OVER EXISTING WOOD FLOOR DECKING, IN ORDER TO REMOVE EXISTING AND INSTALL NEW COMPOSITE FLOOR DECKING. 8 COLUMNS MUST BE REMOVED.

EXISTING WOOD DECK TO BE REMOVED AFTER 8 EXISTING COLUMNS ARE REMOVED. NEW TREX TRANSEND, ISLAND MIST COLOR, OR AN APPROVED EQUAL, TO BE INSTALLED.

GROUND CONTACT BASE TIMBERS. SIZE UNKNOWN. (2) OR (3) ROWS IN THE DEPTH OF PORCH AND USED FOR SECURING DECKING ABOVE.

EXISTING STACKED STONE COLUMN PIERS PLACED DURING ORIGINAL CONST. OF TAVERN IN 1825.

PREPARED BY

TOWN OF

**CLIFTON PARK**

BUILDING & DEVELOPMENT  
DEPARTMENT



**NOTES & DETAILS**

Proposed Exterior Renovations  
**JAMES GROOMS TAVERN**

290 Sugar Hill Road, Town of Clifton Park, New York

DRAWN BY:  
MSK

DATE  
Apr. 2021

SCALE:  
NONE

DRAWING  
21002

**SHEET**

**7**